



**AGENDA**  
**CITY OF NORCO**  
PLANNING COMMISSION  
CITY COUNCIL CHAMBERS – 2820 CLARK AVENUE  
REGULAR MEETING  
September 30, 2015

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CALL TO ORDER: 7:00 p.m.

ROLL CALL:

STAFF PRESENT:

PLEDGE OF ALLEGIANCE: Vice Chair Leonard

1. **APPEAL NOTICE:** In the event that you disagree with the action taken by the Planning Commission in regards to your application, or with any condition for approval of the application which is not a specific requirement of the Norco Municipal Code, you are entitled to appeal such determination or conditions to the Norco City Council, provided that such appeal is filed with the Norco City Clerk within ten calendar days after the requirements for appeals, inclusive of payment of an appeal fee. Please contact City planning staff at (951) 270-5661 if you have any questions regarding any item you may wish to appeal.
2. **PUBLIC COMMENTS:** Hearing from the audience on items not listed on the agenda. Please limit your comments to three (3) minutes. Be sure to complete a speaker card at the entrance of the room and present it to the Clerk so that you may be recognized.
3. **APPROVAL OF MINUTES:**
  - ❖ Minutes of Regular Meeting of July 8, 2015
  - ❖ Minutes of Regular Meeting of August 12, 2015**Recommended Action: Approval** (Deputy City Clerk)
4. **CONTINUED PUBLIC HEARING:**
  - A. **Conditional Use Permit 2015-17 (Navarrete):** A request for approval to allow a detached accessory building consisting of a 2,800 square-foot workshop and storage building at 2180 Reservoir Avenue located within the A-1-20 (Agricultural Low Density) Zone. **Application withdrawn; Public Hearing cancelled; was continued from August 12, 2015** (Senior Planner)

5. PUBLIC HEARING:

- A. **Conditional Use Permit 2015-20** (Moyer): A request for approval to allow a detached accessory building consisting of a 1,632 square-foot storage and hobby shop building at 2301 Western Avenue located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)
- B. **Conditional Use Permit 2015-21** (Hall): A request for approval to allow a detached accessory building consisting of a 1,040 square-foot workshop at 3113 Half Circle Road located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)
- C. **Conditional Use Permit 2015-22** (Parmely): A request for approval to allow a temporary mobile home for the elderly at 1372 Third Street located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)
- D. **Conditional Use Permit 2015-29** (Navarro): A request for approval to allow a detached accessory building consisting of a 855 square-foot garage building at 2879 Sierra Avenue located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Remove from the Public Hearing**

6. BUSINESS ITEMS:

- A. **Site Plan 2015-17** (Hernandez): A request for approval to allow a detached accessory building consisting of a 852 square-foot garage at 1037 Second Street located within the A-1-20 (Agricultural Low-Density) Zone. **Recommended Action: Approval** (Senior Planner)
- B. **Site Plan 2015-16** (Attema): A request for approval to allow a detached accessory building consisting of a 864 square-foot garage at 685 Foxtail Way located within the Norco Hills Specific Plan (NHSP). **Recommended Action: Approval** (Senior Planner)
- C. **Site Plan 2015-08** (Viramontes): a request for approval to allow two detached accessory building consisting of a 576 square-foot storage/workshop building with an attached 122 square-foot covered porch, and an 864 square-foot covered horse corral/stable at 2348 Valley View Avenue located within the A-1-20 (Agricultural Low-Density) Zone. **Recommended Action: Approval** (Senior Planner)

7. CITY COUNCIL MINUTES: Receive and File

- City Council Regular Meeting of July 15, 2015
- City Council Regular Meeting of August 5, 2015
- City Council Regular Meeting of August 19, 2015
- City Council Regular Meeting of September 2, 2015

8. PLANNING COMMISSION:

- A. Oral Reports from Various Committees
- B. Request for Items on Future Agenda (within the purview of the Commission)

9. ADJOURNMENT: Adjourn meeting to October 28, 2015

Staff reports are on file in the Planning Division.

Additionally, any writings or documents provided after distribution of the Planning Commission's agenda packet to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Division counter at City Hall located at 2870 Clark Avenue.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (951) 270-5623. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.102-35.104 ADA Title II)

/di



**MINUTES**  
**CITY OF NORCO**  
PLANNING COMMISSION  
CITY COUNCIL CHAMBERS – 2820 CLARK AVENUE  
REGULAR MEETING  
JULY 8, 2015

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CALL TO ORDER: **7:00 PM**

ROLL CALL: **Chair Leonard, Vice Chair Hoffman, Commission Member Jaffarian and Rigler; Commission Member Hedges – absent.**

STAFF PRESENT: **Planning Director King, Senior Planner Robles, City Clerk Link and Deputy City Clerk Germain**

PLEDGE OF ALLEGIANCE: **Commission Member Jaffarian**

1. ELECTION OF NEW CHAIR AND VICE CHAIR  
**City Clerk Link provided the Oath of Office for re-appointed Commission Member Ted Hoffman for his continued service on the Planning Commission.**

**M/S Jaffarian/Hoffman** to postpone the election of a new Chair and Vice Chair to the next regular meeting on August 12, 2015.

**AYES: Leonard, Hoffman, Jaffarian, Rigler** **Motion Passed**

**ABSENT: Hedges**

2. APPEAL NOTICE: **Read by Director King**

3. PUBLIC COMMENTS: **None**

4. APPROVAL OF MINUTES:

❖ Minutes of Regular Meeting of June 10, 2015

**Recommended Action: Approval** (Deputy City Clerk)

**M/S Rigler/Jaffarian** to approve the minutes of regular meeting of June 10, 2015, as written

**AYES: Leonard, Hoffman, Jaffarian, Rigler** **Motion Passed**

**ABSENT: Hedges**

5. CONTINUED PUBLIC HEARINGS:

A. **Zone Code Amendment 2015-03:** An amendment to Chapter 18.15 – R-1 (Residential-Single Family) Zone of the Norco Municipal Code, to establish animal-keeping standards. **Recommended Action: Continue off-calendar** (Planning Director)

Planning Director King stated this item is being continued off calendar to allow for staff to prepare the additional information received from surrounding communities on regulating small animals.

6. PUBLIC HEARING:

- A. **Conditional Use Permit 2015-15** (Purlinsky): A request for approval to allow two detached accessory buildings consisting of a 1,215 square-foot workshop and a 1,794 square-foot carport at 5142 Viceroy Avenue located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)

Senior Planner Robles presented the staff report on file in the Planning Department. She noted that the accessory building was started and was issued a stop order until proper permits are applied for. Planner Robles stated that the applicant was asked to have the building match the home, per input from the Architectural Review Subcommittee's (ARC). The project meets zoning requirements, staff recommends approval.

In response to Chair Leonard, Planner Robles stated that the metal carport and the wood structure share a wall, so is considered one accessory building.

**Chair Leonard OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak,**

**Mike Thompson** asked that a western themed look be required of the accessory buildings, noting that what is being presented are metal buildings.

**Nikolai Purlinsky, Applicant,** asked for the Commission's consideration as he would like to complete his project. In response to the Commission Members' questions, Mr. Purlinsky explained that he requires an enclosed area as he takes care of his elderly mother, who cannot be left alone and accompanies him when he goes to work in the accessory building. He confirmed that no business will be conducted in the accessory buildings; no habitable room will be added. He noted that the carport which is set up to accommodate horses and the adjoining building were already on the property when he moved in; only the workshop is being added.

**Chair Leonard CLOSED the public hearing, bringing the discussion back to the Commission.**

Member Jaffarian suggested adding a condition asking the applicant to work with staff and the ARC for final approval on the look of the building.

Chair Leonard stated that the structure seems too large, and that the carport and adjoining wood framed structure appears to be two separate buildings; noting that he agreed with comments made by Member Jaffarian.

**M/S Jaffarian/Hoffman** to adopt Resolution 2015-39, to approve Conditional Use Permit 2015-15, to allow two detached accessory buildings consisting of a 1,215 square-foot workshop and a 1,794 square-foot carport at 5142 Viceroy Avenue; adding a condition requiring a final approval on the architectural appearance, working with staff and the Architectural Review Subcommittee.

**AYES:** Hoffman, Jaffarian, Rigler

**Motion Passed**

**NOES:** Leonard (due to height of largest building)

**ABSENT:** Hedges

An amended motion was made by Chair Leonard to have the building height lowered. The motion died due to a lack of a second.

**B. Conditional Use Permit 2015-16 (Swank):** A request for approval to allow a detached accessory building consisting of a 1,500 square-foot storage building at 2470 Vine Avenue located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)

Senior Planner Robles presented the staff report on file in the Planning Department. She stated that the ARC asked for a change of the industrial appearance; the applicant had already purchased the materials, so changes are not an option. Staff recommends approval.

In response to Member Jaffarian, Planner Robles stated that demolition permits are pulled through the Building Department for the structure's entire removal.

In response to Member Rigler, Planner Robles stated that the animal keeping area stops at the concrete slab.

**Chair Leonard OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak.**

**Mr. Swank, applicant,** stated that all engineering, drawings and final ground plans have been completed and paid for; he added that he had visited the surrounding neighborhood for compatibility. He is now beginning the application process.

**Mike Thompson** noted his concern with yet another steel building request; adding that the Commission has the power to require the look.

**Chair Leonard CLOSED the public hearing, bringing the discussion back to the Commission.**

Member Jaffarian stated that with some cosmetics, the building could look western; suggesting that the applicant work with staff and ARC for a final approved look.

Chair Leonard agreed for the requirement of a western look, currently it does not look like a barn.

**M/S Jaffarian/Rigler** to adopt Resolution 2015-37, to approve Conditional Use Permit 2015-16, to allow a detached accessory building consisting of a 1,500 square-foot storage building at 2470 Vine Avenue; adding a condition to have a final architectural approval by ARC, and revise Condition 12 to note to verify that old buildings are gone prior to the new permit being issued.

**AYES: Leonard, Hoffman, Jaffarian, Rigler**

**Motion Passed**

**ABSENT: Hedges**

- C. **Variance 2015-02** (Cordero): A request for a variance from the 100-foot rear yard setback requirement of Chapter 18.13 (A-1 Zone) of the Norco Municipal Code, to allow the construction of a residential home with a minimum rear yard setback of about 33 feet, on a vacant parcel identified with the Assessor's Parcel Number of 125-030-057, located on the west side of Valley View Avenue and south of Third Street, and within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action: Approval** (Senior Planner)

Senior Planner Robles presented the staff report on file in the Planning Department. Staff recommends approval, due to the non-conforming lot size.

Vice Chair Hoffman questioned if utility access on the north end had an easement, in response, Director King stated that only a storm drain easement needed to be provided on the plan, a utility easement is not required to be shown. Vice Chair Hoffman asked about restricting animals on this irregular property; Director King remarked that this is a variance request for the setback only, not pertaining to the use of the property.

Member Jaffarian inquired about street improvements or cash-in-lieu option, Director King stated that the Public Works/Engineer makes the determination. In response to Member Jaffarian, Director King confirmed that a restriction on the animal-keeping area and the number of animals can be done with this variance.

Chair Leonard stated that a cash in-lieu is considered on a case-by-case basis. He inquired if staff had addressed the mound of dirt on the lot making it appear raised. Planner Robles stated that a grading plan will be required.

**Chair Leonard OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak.**

**Jose Cordero, applicant,** asked for the Commission's consideration.

**Chair Leonard CLOSED the public hearing, bringing the discussion back to the Commission.**

Member Jaffarian recommended the addition of a condition to notate a minimum contiguous animal keeping area be required.

Vice Chair Hoffman asked that Condition 7 – cash in-lieu of street improvements be removed.

**M/S Jaffarian/Hoffman** to adopt Resolution 2015-36, to approve Variance 2015-02, to allow a variance from the rear yard setback requirement in the Norco Municipal Code Section 18.13.16 (Yard Spaces) to allow the construction of a residential home with a minimum rear yard setback of about 33 feet, on a vacant parcel identified with the assessor's parcel number 125-030-057; adding a condition requiring a minimum contiguous animal-keeping area, and removing Condition 7 for the option of a cash in-lieu of street improvements.

**AYES: Leonard, Hoffman, Jaffarian, Rigler**

**Motion Passed**

**ABSENT: Hedges**

**D. Zone Code Amendment 2015-05 (City):** A request to amend the C-4 zone permitted uses. **Recommended Action: Approval** (Planning Director)

Planning Director King presented the staff report on file in the Planning Department. He reviewed the numerous previous discussions by both the Commission and the original Working Group, to provide zoning options to allow dual uses of commercial buildings in C-4 zone, to help bring in more commercial use. Staff recommends making the recommendation to the City Council.

In response to Member Jaffarian, Director King explained the clause that will allow staff to bring potential dual uses within the zone for the Commission's review.

Member Rigler commended staff for a great job clarifying the intent of this zone code amendment.

Chair Leonard shared that he was on the original Working Group, this will allow more multi-functional usage within the zone, and bring some diversity in use on smaller lots.

**Chair Leonard OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak.**

**Linda Dixon** cautioned the Commission on the broad scope of uses noted.

**Chair Leonard CLOSED the public hearing, bringing the discussion back to the Commission.**

**M/S Jaffarian/Hoffman** to adopt Resolution 2015-35, to recommend that the City Council approve Zone Code Amendment 2015-05, amending Chapter 18.23 "C-4" (Commercial) Zone, with any related cross-references in other chapters as needed to amend the permitted and conditionally-permitted uses.

**AYES: Leonard, Hoffman, Jaffarian, Rigler**

**Motion Passed**

**ABSENT: Hedges**

**Under discussion:**

Member Jaffarian commended the work done on this zone code amendment, should be used as a model on future projects.

7. BUSINESS ITEM:

- A. **Site Plan 2015-14** (Tomaino): A request for approval to allow a detached accessory building consisting of a 448 square-foot shade structure (palapa) at 2662 Vandermolen Drive located within the Norco Ridge Ranch Specific Plan (NRRSP). **Recommended Action: Approval** (Senior Planner)

Senior Planner Robles presented the staff report on file in the Planning Department. She explained that the palapa was constructed by a previous owner, the new owner wanted to bring it to code by applying for the proper permit. Staff recommends approval.

**M/S Jaffarian/Rigler** to adopt Resolution 2015-38, to approve Site Plan 2015-14, to allow a detached accessory building consisting of a 448 square-foot shade structure (palapa) at 2662 Vandermolen Drive.

**AYES: Leonard, Hoffman, Jaffarian, Rigler**

**Motion Passed**

**ABSENT: Hedges**

- B. **Architectural Review 2015-03 of Conditional Use Permit 2008-09** (Andrade Architects): Architectural review of a proposed concession/kitchen and clubhouse building in the approved Silverlakes concessions area. **Recommended Action: Approval** (Planning Director)

Planning Director King presented the staff report on file in the Planning Department. He explained that a City Council Resolution adopted in 2011, for restating the conditions of approval, requires an architectural review by the Planning Commission, which included a revised site plan to include a permanent concession area as opposed to a mobile one. The architecture is all that is being reviewed with this report. The building will be within the flood zone, below the flood plain, and will have engineering requirements to be followed. Staff recommends approval.

Director King stated that the City Attorney was unable to attend the meeting due to a conflict in his schedule; and that the applicant was not available due to the late notice of this meeting.

Vice Chair Hoffman asked for a ten minute recess to allow the public present to review the plans and make comments to the Commission.

**Recessed: 8:26 PM**

**Reconvened: 8:40 PM**

Chair Leonard noted concerns on the architecture, stating that it does not fit the equestrian theme, it appears modern.

**Chair Leonard invited the public to speak.**

**Linda Dixon** noted that this project will bring world class events to Norco; adding that she likes architect, it is phenomenal. She encouraged the Commission to approve this project.

**Karen Leonard** noted her concern that promises were made to the locals, which do not seem to be followed, and it appears too contemporary, not western.

**Chair Leonard brought discussions back to the Commission.**

Member Rigler noted his excitement that this project is being brought forth, stating to the public that all should get involved. Adding that he would like more of an equestrian theme.

Member Jaffarian stated that the project is an excellent use of a small foot print. There is no other venue in Southern California that could hold these types of events.

Vice Chair Hoffman exclaimed that this will bring new businesses to Norco; he agreed that it is a good use of space and the facility will cater to high-end equestrian riders.

Chair Leonard stated that the facility is cutting out local vendors, as was promised by the vendor; noting his concern with the lack of a western theme that the City pushes on the residents or other businesses.

**M/S Jaffarian/Hoffman** to adopt Resolution 2015-34, to approve Architectural Review 2015-03 for Conditional Use Permit 2008-09, for architectural approval of a concession/kitchen and clubhouse building for the Silverlakes Equestrian and Sports Park.

**AYES:** Hoffman, Jaffarian, Rigler **Motion Passed**  
**NOES:** Leonard (due to the lack of a western look)  
**ABSENT:** Hedges

**Under discussion:**

Member Jaffarian stated that the architectural look presented is appropriate for the neighborhood, its location is separated by two miles and over the river from the City and other western themed properties.

Chair Leonard disagreed, noting that it is part of Norco, no matter where the location.

Vice Chair Hoffman shared that per the Development Agreement, a western theme was not required.

8. CITY COUNCIL MINUTES: **Received and Filed**

➤ City Council Regular Meeting of May 20, 2015

Director King shared that Mayor Higgins asked that a zone change be considered for the sale of medical marijuana. He added that City Manager Okoro will establish a Business Subcommittee consisting of two Council Members and two Commission Members to discuss and review this subject.

9. PLANNING COMMISSION:

A. Oral Reports from Various Committees: **None**

B. Request for Items on Future Agenda (within the purview of the Commission)

- Member Rigler inquired about a recently approved accessory building for animal keeping, it was approved based on the removal of existing building or applying for a permit for it to remain. He stated when he checked with the Building Department, he was told that permits were not required. Director King suggested that a discussion be brought back on a better monitoring of the conditions set by approval.
- Member Rigler noted that many metal buildings are being presented to the Commission, for which causes concerns as prefer no more airplane hangars. Director King suggested that a discussion be brought forth.
- Vice Chair Hoffman asked staff to bring back the telecommunication tower recently approved at Hidden Valley Pkwy, as he now has a better understanding of the FCC testing already required and would like to remove the additional testing required for the City.
- Member Jaffarian asked that a discussion be brought back regarding stock piling, evaluating it and review more stringent rules.

10. ADJOURNMENT: Chair Leonard adjourned the meeting at **9:03 PM**

Respectfully submitted,

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Steve King, Secretary  
Planning Commission

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**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Conditional Use Permit 2015-17 (Navarrete): A request for approval to allow a detached accessory building consisting of a 2,800 square-foot workshop and storage building at 2180 Reservoir Avenue located within the A-1-20 (Agricultural Low Density) Zone.

**RECOMMENDATION:** Cancel public hearing

Conditional Use Permit 2015-17 was continued to the meeting of September 30, 2015. However, the application was withdrawn by the applicant; as such the project must be removed and cancelled from the agenda.

**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Conditional Use Permit 2015-20 (Moyer): A request for approval to allow a detached accessory building consisting of a 1,632 square-foot storage and hobby shop building at 2301 Western Avenue located within the A-1-20 (Agricultural Low Density) Zone.

**RECOMMENDATION:** Staff recommends that the Planning Commission adopt Resolution 2015-52 approving Conditional Use Permit 2015-20.

Conditional Use Permit 2015-20 is a request for approval to allow an accessory building consisting of a 1,632 square-foot storage and hobby shop building at 2301 Western Avenue, located at the northeast corner of Western Avenue and Belgian Drive (ref. Exhibit "A" – Location Map). The property consists of about .46 acres/20,001 square-feet and is developed with a single family residence (ref. Exhibit "B" – APN Map and Exhibit "E" – Aerial and Site Photo).

Accessory buildings that exceed 864 square feet require approval of a conditional use permit by the Planning Commission. The site plan and building elevations for the proposed building are attached (ref. Exhibit "C" – Site Plan, and Exhibit "D" – Building Elevations). The building is proposed to be wood construction, and is proposed with a tile/composite roof and stucco exterior with colors that match the existing residence.

The following is required of accessory buildings in the A-1-20 Zone:

- The minimum setbacks of 5 feet from interior property lines, 15 feet from a street side property line when on a corner, and 10 feet from any other structure is required for accessory buildings. **The proposed building will meet these requirements.**
- The maximum height of any accessory structure that exceeds 864 square feet is 20 feet, or as approved by the Planning Commission. **The structure is proposed with a maximum height of 20 feet as measured to the peak of the roof.**
- The maximum lot coverage of all structures shall be not more than 40% of the total pad area. The pad area is defined as the "flat" part of the lot (4% grade or less). **The subject property is approximately 20,001 square feet, but is not all flat. This is due to a slight slope at the front of the property, and a 4:1 slope in the rear yard and partially along the north property line. Approximately 13,000 square feet of the property consists of an average grade of 4% or less.**

**With the proposed building (and future improvements that do not require approval by the Planning Commission such as a pool and attached patio), the applicant is proposing to construct retaining walls to flatten most of the rear yard, thus increasing the flat pad to at least 16,000 square feet. The applicant is also proposing to add retaining walls to the front of the property to further increase the pad to about 18,262 square feet. For reasons discussed below in the required open animal keeping area section, staff will recommend**



## RESOLUTION NO. 2015-52

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO APPROVING A CONDITIONAL USE PERMIT TO ALLOW A DETACHED ACCESSORY BUILDING CONSISTING OF 1,632 SQUARE-FOOT STORAGE AND HOBBY SHOP BUILDING AT 2301 WESTERN AVENUE LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW DENSITY) ZONE. (CONDITIONAL USE PERMIT 2015-20)**

WHEREAS, an application to the City of Norco, California has been submitted for a conditional use permit under the provisions of Chapter 18.45, Title 18 of the Norco Municipal Code by JAMES MOYER for property located at 2301 Western Avenue (APN 129-371-001); and

WHEREAS, notice of a public hearing on said petition has been given in the manner and for times required by law; and

WHEREAS, at the time set, at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place, said Planning Commission heard and considered both oral and written evidence; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested Conditional Use Permit will not adversely affect the general welfare of persons residing or working in the neighborhood thereof.

B. The requested use will not adversely affect the adjoining land uses.

C. The size and shape of the site proposed for the use is adequate to allow full development of the proposed use.

D. The traffic generated by the proposed use will not impose an undue burden.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

II. DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled September 30, 2015 that the aforesaid application for a conditional use permit is granted, subject to the conditions provided in Section 18.45.14 of the Municipal Code of Norco, including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan, Floor Plan and Exhibit "D" - Building Elevations dated September 16, 2015 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of this permit.
4. In the event conditions for approval by the Planning Commission, or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. The applicant shall obtain building permits and pay all applicable fees before beginning construction of the structure on the subject property.
7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. A home occupation business shall not be conducted from the subject building.

9. The subject building shall complement the existing house in color.
10. This approval is for an accessory building consisting of a storage and hobby shop building. It is hereby established that it shall be grounds for revocation of this conditional use permit if the property owner has:
  - A. Violated any rule, regulation or condition of approval adopted by the Planning Commission relating to the conditional use permit; or
  - B. Conducted the operation permitted hereunder in a manner contrary to the peace, health, safety and general welfare of the public or in a manner which either generates or contributes to noise and/or health/sanitation nuisances, or which results in undesirable activities or creating an increased demand for public services.
11. Building permits for this accessory building are issued within the confines of this Conditional Use Permit. Any violation of a condition resulting in a revocation of this Conditional Use Permit may result in an order to remove the accessory building at the owner's expense.
12. Building permits for retaining walls and any applicable grading permits to flatten the designated open animal keeping area (at the rear of the property) shown on Exhibit "C" – Site Plan dated September 16, 2015, shall be issued simultaneously with the building permit for the subject building.

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PASSED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015.

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Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

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Steve King, Secretary  
Planning Commission  
City of Norco, California

I HEREBY CERTIFY that the foregoing Resolution was adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held on September 30, 2015 by the following roll call vote:

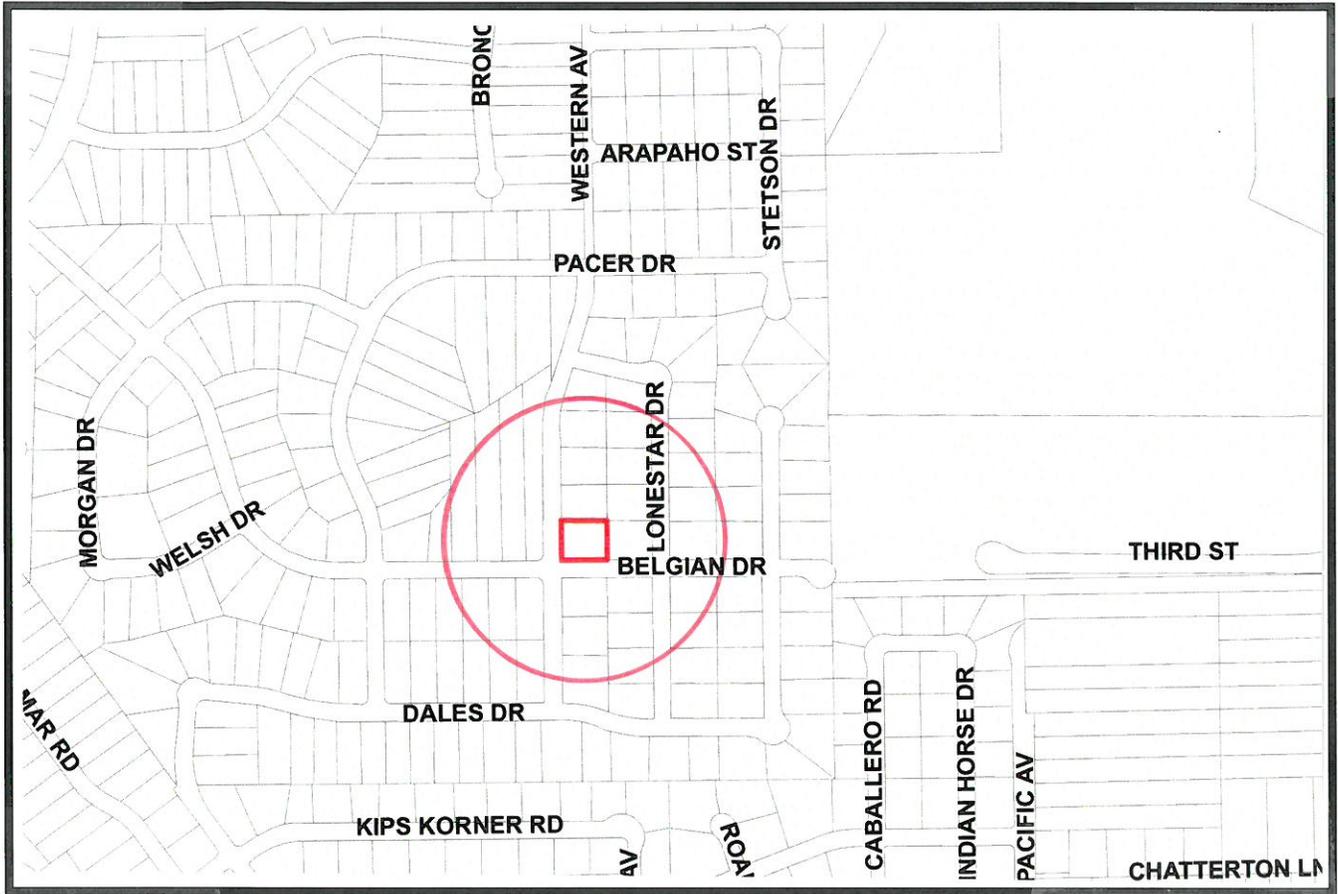
AYES:  
NOES:  
ABSENT:  
ABSTAIN:

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Steve King, Secretary  
Planning Commission  
City of Norco, California

/adr

# LOCATION MAP



Not to Scale



**PROJECT:** Conditional Use Permit 2015-20  
**APPLICANT:** James Moyer  
**LOCATION:** 2301 Western

**Exhibit "A"**

# ASSESSOR'S PARCEL MAP

SEC. 11 12 13 14 T. 3S., R. 7W  
CITY OF NORCO

T.R.A. 015-007

129-37  
129-15



1" = 200'  
ANGLE = 0



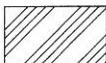
GENERAL NOTES:

Owners: James & Darlene Moyer  
 Contact Ph#: 951-735-5533  
 Property Address: 2301 Western Ave.  
 Norco, Ca. 92860

Site Information:

Legal Description:  
 Lot 1 of Tract No. 23507-2, in the County of  
 Riverside, State of California, as per recorded in book  
 250 pages 16, 17 & 18 inclusive of maps, in the  
 office of the county recorder of said county.

APN# 129-371-001-8  
 Zoning: A-1  
 Site Area: 20,001 Sqft.  
 Useable (less than 4% grade) Site Area: 18,262.62 Sqft.  
 Required PACA: NO  
 Required Animal keeping area: YES  
 Allowed # of animals: 5 x 576 Sqft per animal.  
 Total required animal keeping area: 2,880 Sqft.

 = Denotes lot area with greater than a 4% slope. (unusable land)  
**TOTAL AREA = 1,738.38 Sqft**

Existing Residence(Main House) Building Information:

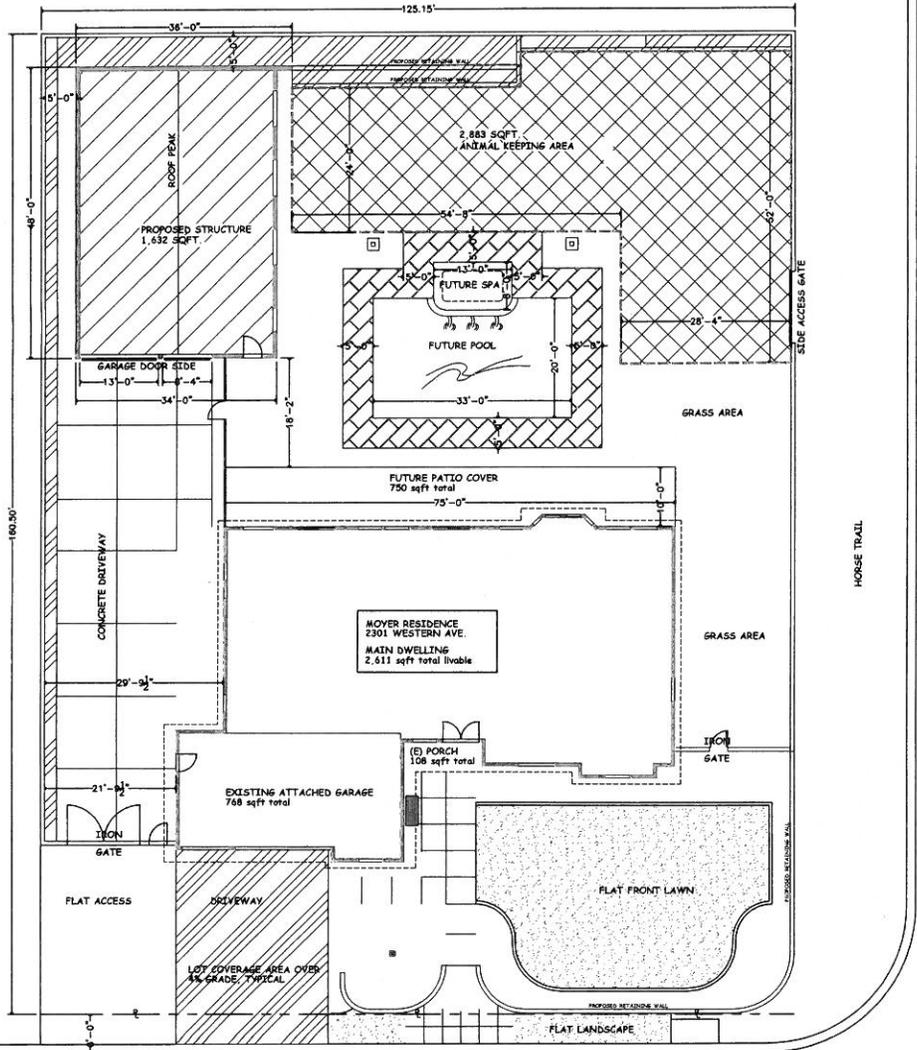
Construction type: VN  
 Occupancy: R3/U  
 Building Area: 2,611 Sqft. Livable, 768 Sqft. attached  
 Garage, & 108 Sqft Entry Patio.  
 # of Stories: 1  
 Year Built: 1995  
 Roof Type: Tile

Proposed Building(Accessory Building) Information:

Construction Type: Wood Frame  
 Occupancy: S/U  
 Building Area: 1,632 Sqft.  
 # of Stories = 1  
 Proposed Building Height =  
 16'-0" Plate Height - 20'-0" @ roof peak  
 Roof Type = Composition/Tile

Building Use: Storage of yard equipment and  
 Antique Collection Items, hobbies.

Total Allowed Lot coverage (40%) = 7,305.04 Sqft  
 Proposed Lot coverage = 5,119 Sqft.  
 + Future pool = 1,427 Sqft. including 5' coping  
 & Future Patio = 750 Sqft.  
**Total Proposed Lot Coverage = 7,296 Sqft.**



BELGIAN DRIVE

WESTERN AVENUE

**MOYER RESIDENCE  
 PROPOSED ACCESSORY BLDG.  
 SITE PLAN**

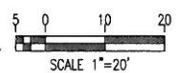
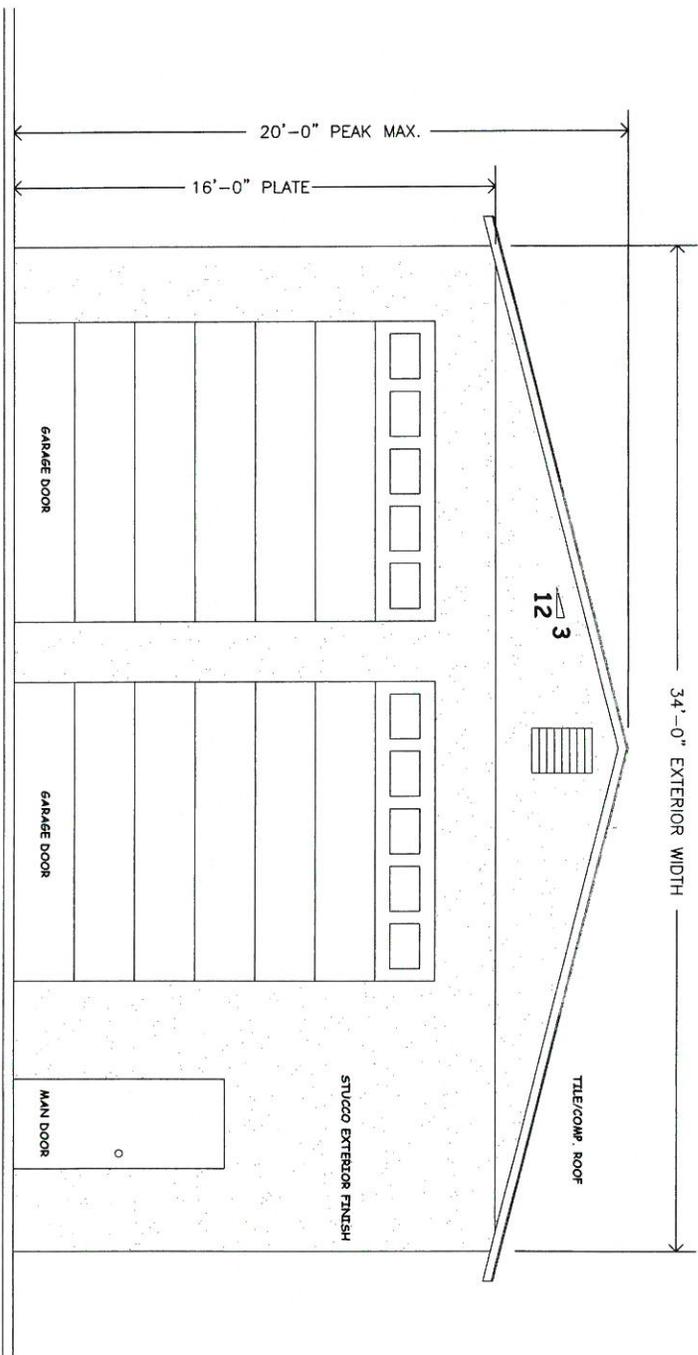


EXHIBIT "C"  
 9.16.15

**STREET(WEST) FACING ELEVATION**  
NOTE: COLORS TO MATCH EXISTING RESIDENCE



**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Conditional Use Permit 2015-21 (Hall): A request for approval to allow a detached accessory building consisting of a 1,040 square-foot garage/workshop with an attached 320 square-foot covered porch at 3113 Half Circle Road located within the A-1-20 (Agricultural Low Density) Zone

**RECOMMENDATION:** Staff recommends that the Planning Commission adopt Resolution 2015-49 approving Conditional Use Permit 2015-21.

Conditional Use Permit 2015-21 is a request for approval to allow an accessory building consisting of a 1,040 square-foot garage/workshop with an attached 320 square-foot covered porch, at 3113 Half Circle Road located at the northeast corner of Half Circle Road and Gallop Lane (ref. Exhibit "A" – Location Map). The property consists of about .46 acres/20,008 square-feet and is developed with a single family residence (ref. Exhibit "B" – APN Map and Exhibit "D" – Aerial and Site Photo).

Accessory buildings that exceed 864 square feet require approval of a conditional use permit by the Planning Commission. The site plan, floor plan and building elevations for the proposed building are attached (ref. Exhibit "C" – Site Plan, Floor Plan and Building Elevations). The building is proposed to be wood construction, with a shingle roof and stucco exterior to match the appearance of the existing residence (*note, the building will actually be built closer to the house and further away from the open animal keeping area than it appears on the attached site plan*).

The following is required of accessory buildings in the A-1-20 Zone:

- The minimum setbacks of 5 feet from interior property lines, 15 feet from a street side property line when on a corner, and 10 feet from any other structure is required for accessory buildings. **The proposed building will meet these requirements.**
- The maximum height of any accessory structure that exceeds 864 square feet is 20 feet, or as approved by the Planning Commission. **The structure is proposed with a maximum height of about 15 feet as measured to the peak of the roof.**
- The maximum lot coverage of all structures shall be not more than 40% of the total pad area. The pad area is defined as the "flat" part of the lot (4% grade or less). **The subject property is approximately 20,008 square feet, and at least 14,743 square feet of the property has an average grade of 4% or less. The pad coverage for the property is approximately 28%, which takes into account the existing and proposed structures.**
- A contiguous open animal area must be shown on the site plan which must be rectangular in shape with a minimum of 24 feet on any side. The total open area must be equal to the allowed number of animal units multiplied by 576 square feet. **Based on the**



## RESOLUTION NO. 2015-49

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO APPROVING A CONDITIONAL USE PERMIT TO ALLOW A DETACHED ACCESSORY BUILDING CONSISTING OF A 1,040 SQUARE-FOOT GARAGE/WORKSOP WITH AN ATTACHED 320 SQUARE-FOOT COVERED PORCH AT 3113 HALF CIRCLE ROAD LOCATED WITHIN THE A-1-20 ZONE. (CONDITIONAL USE PERMIT 2015-21)**

WHEREAS, an application to the City of Norco, California has been submitted for a conditional use permit under the provisions of Chapter 18.45, Title 18 of the Norco Municipal Code by TRAVIS HALL for property located at 3113 Half Circle Road (APN 127-111-004); and

WHEREAS, notice of a public hearing on said petition has been given in the manner and for times required by law; and

WHEREAS, at the time set, at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place, said Planning Commission heard and considered both oral and written evidence; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested Conditional Use Permit will not adversely affect the general welfare of persons residing or working in the neighborhood thereof.

B. The requested use will not adversely affect the adjoining land uses.

C. The size and shape of the site proposed for the use is adequate to allow full development of the proposed use.

D. The traffic generated by the proposed use will not impose an undue burden.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

II. DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled September 30, 2015 that the aforesaid application for a conditional use permit is granted, subject to the conditions provided in Section 18.45.14 of the Municipal Code of Norco, including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan, Floor Plan and Building Elevations dated July 15, 2015 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of this permit.
4. In the event conditions for approval by the Planning Commission, or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. The applicant shall obtain building permits and pay all applicable fees before beginning construction of the structure on the subject property.

7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. A home occupation business shall not be permitted from the subject building.
9. The subject building shall complement the existing house in color.
10. This approval is for an accessory building consisting of a garage/workshop with an attached covered porch. It is hereby established that it shall be grounds for revocation of this conditional use permit if the property owner has:
  - A. Violated any rule, regulation or condition of approval adopted by the Planning Commission relating to the conditional use permit; or
  - B. Conducted the operation permitted hereunder in a manner contrary to the peace, health, safety and general welfare of the public or in a manner which either generates or contributes to noise and/or health/sanitation nuisances, or which results in undesirable activities or creating an increased demand for public services.
11. Building permits for this accessory building are issued within the confines of this Conditional Use Permit. Any violation of a condition resulting in a revocation of this Conditional Use Permit may result in an order to remove the accessory building at the owner's expense.

##

Resolution No. 2015-49  
Page 4  
September 30, 2015

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015.

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Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

I HEREBY CERTIFY that the foregoing Resolution was adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held on September 30, 2015 by the following roll call vote:

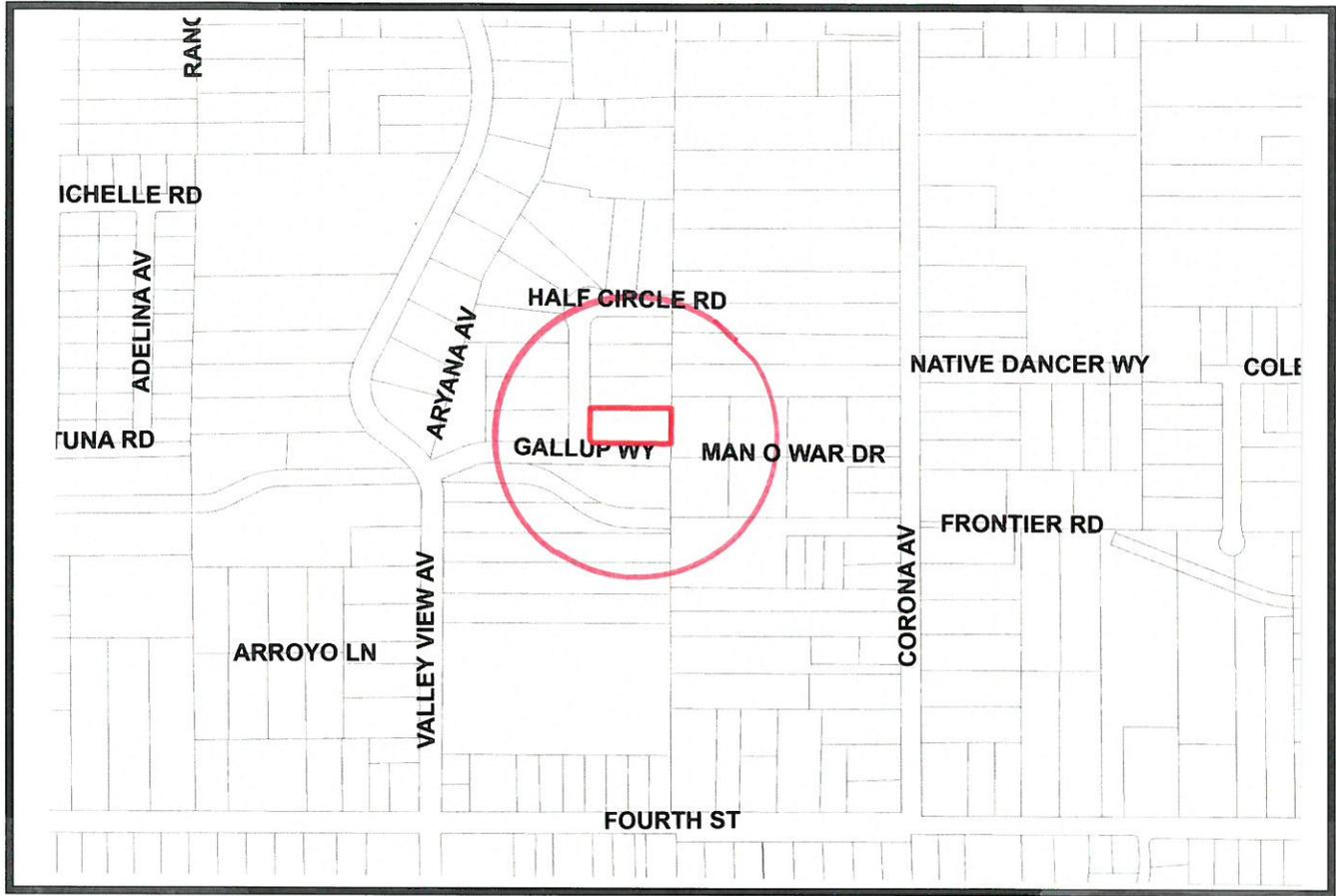
AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

/adr

# LOCATION MAP



Not to Scale



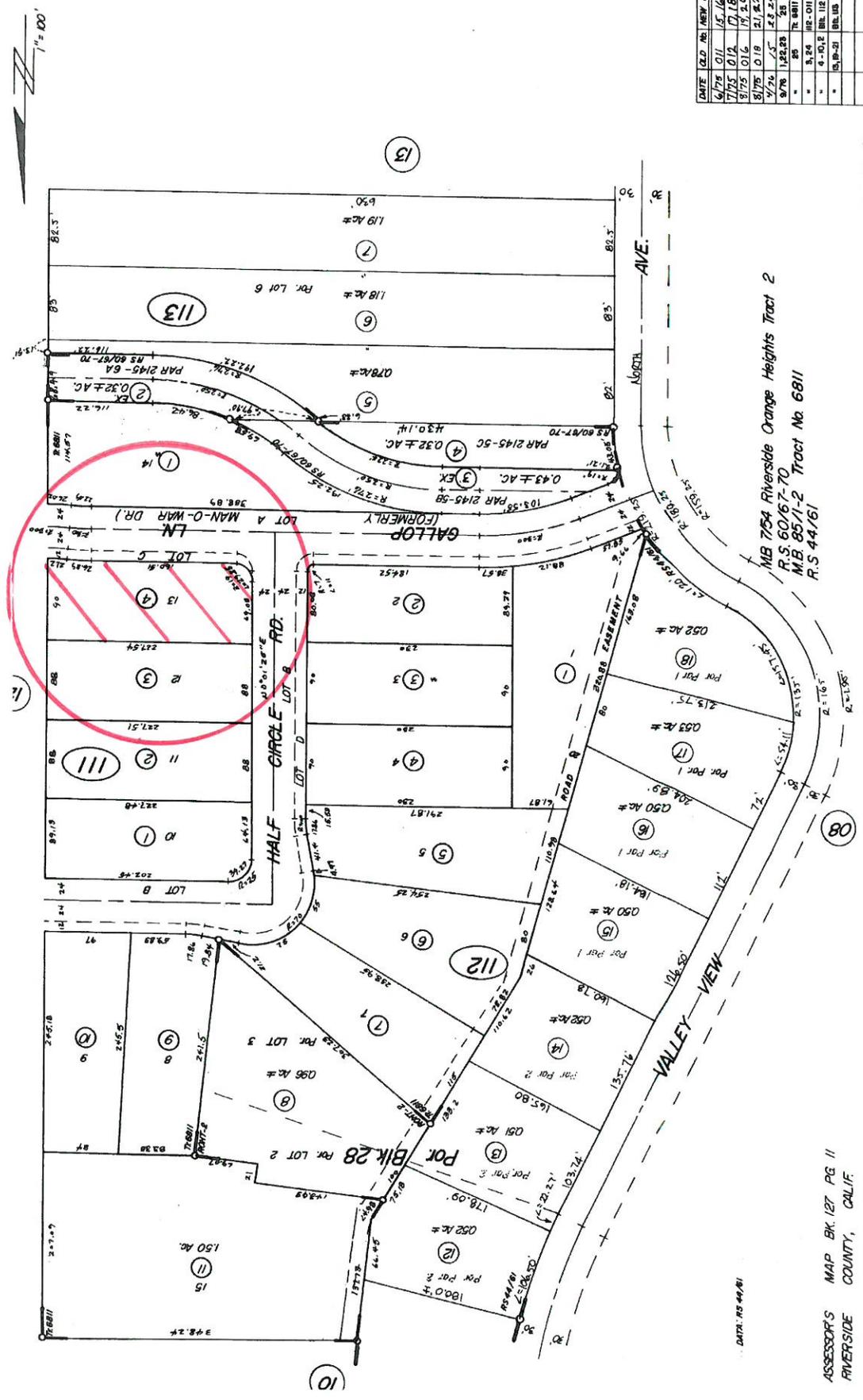
**PROJECT:** Conditional Use Permit 2015-21

**APPLICANT:** Travis Hall

**LOCATION:** 3113 Half Circle

**Exhibit "A"**

# ASSESSOR'S PARCEL MAP



DATE	OLD No.	NEW No.
6/75	011	15, 16
7/75	019	17, 18
8/75	016	19, 20
9/75	018	21, 22
9/76	182, 228	23
	28	24
	29	25
	30	26
	31	27
	32	28
	33	29
	34	30
	35	31
	36	32
	37	33
	38	34
	39	35
	40	36

MB 754 Riverside Orange Heights Tract 2  
 R.S. 60/67-70  
 M.B. 85/1-2 Tract No 6811  
 R.S. 44/61

ASSESSOR'S MAP BK 127 PG 11  
 RIVERSIDE COUNTY, CALIF.

OCT. 1974 & S.

## Exhibit 'B'

**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Conditional Use Permit 2015-22 (Parmely): A request for approval to allow a temporary mobile home for the elderly at 1372 Third Street located within the A-1-20 (Agricultural Low Density) Zone.

**RECOMMENDATION:** Adopt Resolution 2015-54, approving Conditional Use Permit 2015-22

**SUMMARY:** Conditional Use Permit (CUP) 2015-22 is a request for approval to allow a temporary mobile home for the elderly at 1372 Third Street (ref. Exhibit "A" – Location Map). The mobile home is intended to be occupied by the property owner's 66 year old father.

**PROPERTY DESCRIPTION:** The project site is an irregular-shaped area consisting of about .47 acres/20,473 square feet, having a frontage on the south side of Third Street of about 124 feet and a maximum depth of about 201 feet (ref. Exhibit "B" – APN Map).

The property is developed with a single-family residence with a detached garage (Exhibit "E" – Aerial and Site Photos). The property also has a recorded Primary Animal Keeping Area (PAKA) of 2,780 square feet at the rear of the property (ref. Exhibit "F" – Parcel Map 30648)

**PROJECT DESCRIPTION:** The applicant is requesting approval of a conditional use permit to allow the placement of a 399 square-foot mobile home on the subject property, to be occupied by the applicant's/property owner's 66 year old father (ref. Exhibit "C" – Site Plan and Exhibit "D" – Floor Plan and Building Elevations).

The mobile home is proposed to be located behind the existing home, and is proposed to meet the minimum setback requirements of five feet from property lines and 10 feet from any other structure. Furthermore, the unit will not block the 15-foot wide access to the PAKA.

**ANALYSIS:** Per Section 18.30.35 of the Norco Municipal Code (NMC), a temporary mobile home for the elderly is allowed in the A-1-20 Zone with the approval of a conditional use permit. The intent of this provision in the Code is to allow housing for elderly family members who need care or assistance from their family.

The mobile home is for the exclusive use of a maximum of two aged family members of the owner and occupant of a main dwelling on the property. At least one of two occupants allowed in the mobile home must be 62 years of age and the applicant must demonstrate the need for the family members care. This CUP application meets these requirements since the

mobile home is proposed to be occupied by the applicant's/property owner's 66 year old father, who needs to move closer to his family for health related reasons.

The minimum lot size to be eligible for temporary mobile home is 20,000 square feet, and the mobile home must be placed to the rear of the main dwelling. The subject property is 20,473 square feet and the mobile home is proposed to be placed behind the existing house.

The mobile home must comply with all setback and lot coverage requirements of the A-1-20 Zone. Similar to an accessory building, the mobile home must be a minimum of five feet away from side and rear property lines, a minimum of 10 feet away from any other structure, and the maximum lot coverage of 40 percent of the flat pad area cannot be exceeded. The location of the proposed mobile home meets all the setback requirements and the lot/pad coverage is not exceeded being at about 23 percent with the existing and proposed structures.

The floor area of the mobile home cannot be less than 350 square feet nor larger than 900 square feet. The size of the mobile home complies with this requirement, being proposed at 399 square feet.

The mobile home must be connected to the City's sewer system and all utility connections (to include water, electricity etc.) serving the unit must meet applicable building codes. The project will be conditioned to require this.

The mobile home, although temporary, must be secured to withstand wind loads in accordance with the Uniform Building Code calculations but not be placed on a permanent foundation. The requirement for a temporary foundation is so that the mobile home is removed should it no longer be occupied by a qualified family member. The project has been conditioned to require that the mobile home be placed on a temporary foundation.

To insure that the mobile home is not misused, the Code requires that a conditional use permit be granted for a one-year period, which may be extended on a year to year basis. To comply with this requirement, the project has been conditioned to indicate that the approval is granted for a maximum one-year period and will expire, if a request for extension is not filed with the Planning Division every year after the approval date. The project has also been conditioned to require that the applicant obtain approval for a change in the occupancy of the mobile home, so that compliance with the Code can be evaluated by staff. Furthermore, the project has been conditioned so that the current property owner records on the property title a clause that indicates that the mobile home must be removed from prior to the sale of the property, unless a modification to this permit is approved by the Planning Commission (for the new owner) to allow the unit to remain in accordance with Code requirements.

Conditional Use Permit 2015-22

Page 3

September 30, 2015

**CONCLUSION:** As proposed and conditioned, the project meets the requirements for the approval of a temporary mobile home for the elderly. Staff is recommending that the Planning Commission adopt Resolution 2015-54 approving Conditional Use Permit 2015-22.

/adr

Attachments:

Resolution 2014-54

Exhibit "A" – Location Map

Exhibit "B" – APN Map

Exhibit "C" – Site Plan

Exhibit "D" – Floor Plan and Building Elevations

Exhibit "E" – Aerial and Site Photos

Exhibit "F" – Parcel Map 30648

## RESOLUTION NO. 2015-54

### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO, CALIFORNIA GRANTING WITH CONDITIONS A CONDITIONAL USE PERMIT TO ALLOW A TEMPORARY MOBILE HOME FOR THE ELDERLY AT 1372 THIRD STREET LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW DENSITY) ZONE. CONDITIONAL USE PERMIT 2015-22

WHEREAS, HOWARD AND HOLLIS PARMELY submitted an application to the City of Norco, California, for a conditional use permit under the provisions of Chapter 18.45, Title 18 of the Norco Municipal Code to allow a mobile home to be used as a temporary dwelling unit for the elderly on property generally described as:

Parcel 2 of Parcel Map No. 30698, as per Parcel Map filed in Book 214, Page 52, of Parcel Maps, in the office of the County Recorder of said County; and

More generally described as an irregular-shaped area of about .47 acres, having a frontage of about 124 feet on the south side of Third Street, a maximum depth of about 201 feet, and being further described as 1372 Third Street (APN # 125-040-027) and

WHEREAS, notice of public hearing on said petition has been given in the manner and for times required by law; and

WHEREAS, at the time set, at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place, said Planning Commission heard and considered both oral and written evidence; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested conditional use permit will not adversely affect the General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof, by reason that the Norco General Plan designates

the site as Residential Agricultural and the A-1-20 zoning of the site is consistent with the General Plan. The nature of the proposed land use is conditionally permitted in the zone and is subject to conditions. The use can be operated in a manner so as to be consistent with surrounding uses and will therefore not have any significant effects.

B. The requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is located by reason that the adjoining land uses are residential on the sides. The proposed use, when operated in compliance with the conditions of approval, will be compatible with surrounding properties and therefore will not have adverse effects on adjoining properties.

C. The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area, as the subject property meets all applicable development standards and the minimum lot size required to allow a temporary mobile home for the elderly on the property.

D. The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area, as the proposed use is limited to occupancy by no more than two persons, one of which must be at least 62 years of age.

E. The City of Norco, acting as Lead Agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3, of the City of Norco Environmental Guidelines

## II. DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled on September 30, 2015 that the aforesaid application for a conditional use permit is granted, subject to the conditions provided in Section 18.45.14 of the Municipal Code of Norco, including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan and Exhibit "D" – Floor Plan and Building Elevations dated August 11, 2015, and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions or by the Building and Safety Division.

2. The recorded owner of the property shall submit to the Planning Division, for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions.
4. This approval shall become null and void unless building permits for the installation of the mobile home authorized by this approval have been issued within one year after the granting of such approval and pursued diligently to completion.
5. The applicant shall obtain building permits and pay all applicable fees prior to placing the mobile home on the lot. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
6. Approval is granted for a maximum one-year period and will expire, if a request for extension is not filed with the Planning Division on or before September 30, 2016 and each year after. This extension shall indicate that the elderly family member, for whom the mobile home was approved, is still occupying the mobile home. If, and when, the mobile home is no longer occupied by the elderly family member(s), the mobile home shall be removed from the property within 60 days.
7. The applicant/property owner shall contact the Planning Division and provide a letter requesting approval for a change in the occupancy of the mobile home. The mobile home shall be occupied by no more than two aged family members of the owner/occupant of the main dwelling on the same property. At least one of the two occupants allowed in the mobile home shall be 62 years of age.
8. The current applicant/property owner shall record on the property title the requirement that the mobile home must be removed from the property prior to the sale of the property, unless a modification to this permit is approved by the Planning Commission (for the new owner) to allow the unit to remain in accordance with the Norco Municipal Code. **Proof of this recordation shall be submitted to the Planning Division before a building permit is issued by the Building Department for the mobile home.**
9. The mobile home shall be constructed either after September 15, 1971, and be issued an insignia of approval by the California Department of Housing and

Community Development or be constructed after July 1, 1976, and be issued an insignia of approval by the US Department of Housing and Urban Development. In addition, the applicant shall provide a State inspection certificate that the mobile home meets all Code requirements at the time the conditional use permit is granted. Mobile units constructed prior to these dates may be permitted provided that the unit is certified by the State inspector that it meets all current codes.

10. The floor area of the mobile home shall not be less than 350 square feet nor larger than 900 square feet.

11. The temporary mobile home shall be connected to the City sewer system. The applicant/property owner shall pay associated connection fees to the City of Norco prior to building permit issuance. The sewer connection to the mobile home shall be made through the existing sewer connection for the main dwelling.

12. The proposed mobile home shall be connected to the City water system. The applicant/property owner shall pay connection fees to the City of Norco for all water system service required prior to building permit issuance.

13. All utility connections serving the unit must meet applicable building codes. All utility connections to the mobile home shall be made through the existing utility connections for the main dwelling.

14. A home occupation shall not be permitted from the mobile home.

15. The mobile home, although temporary, shall be secured to withstand wind loads in accordance with the Uniform Building Code calculations, but not be placed on a permanent foundation or a perimeter block enclosure.

16. Smoke detectors shall be installed pursuant to State Fire Marshal requirements.

17. Exterior appearance of the mobile home shall meet the approval of the Planning Division.

18. Skirting at the base of the mobile home may be required as determined by the Planning Director.

19. All utilities lines shall be placed underground.

20. No occupancy of the mobile home shall be allowed unless a final inspection is completed to the satisfaction of the Building Official.

21. The proposed mobile home shall not interfere with animal keeping on the adjacent lots.

22. The applicant shall comply with Norco Fire Department requirements for access and turnarounds before building permits for the temporary mobile home are issued.

##

APPROVED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015 .

---

Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held on September 30, 2015 by the following roll call vote:

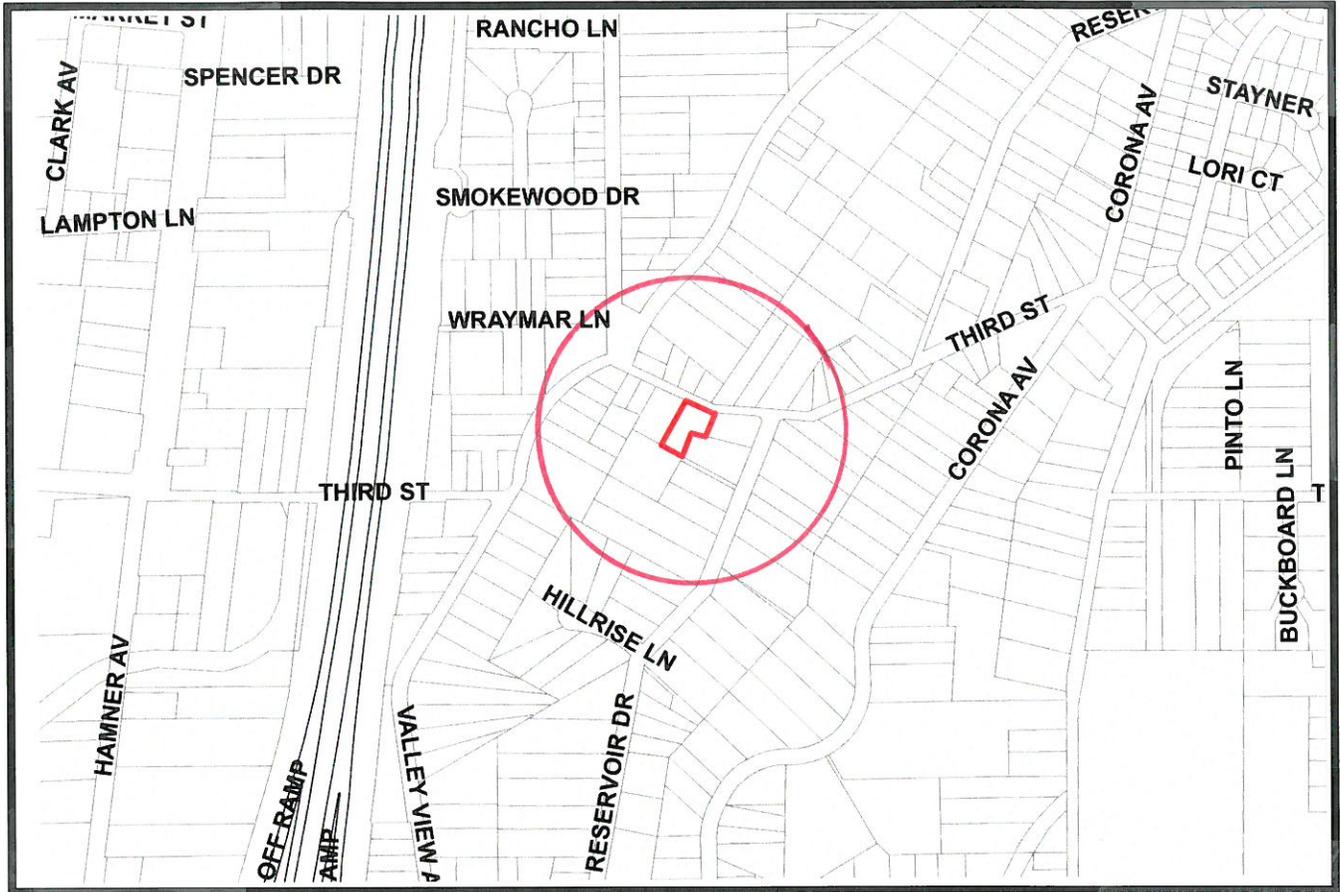
- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

/adr

# LOCATION MAP



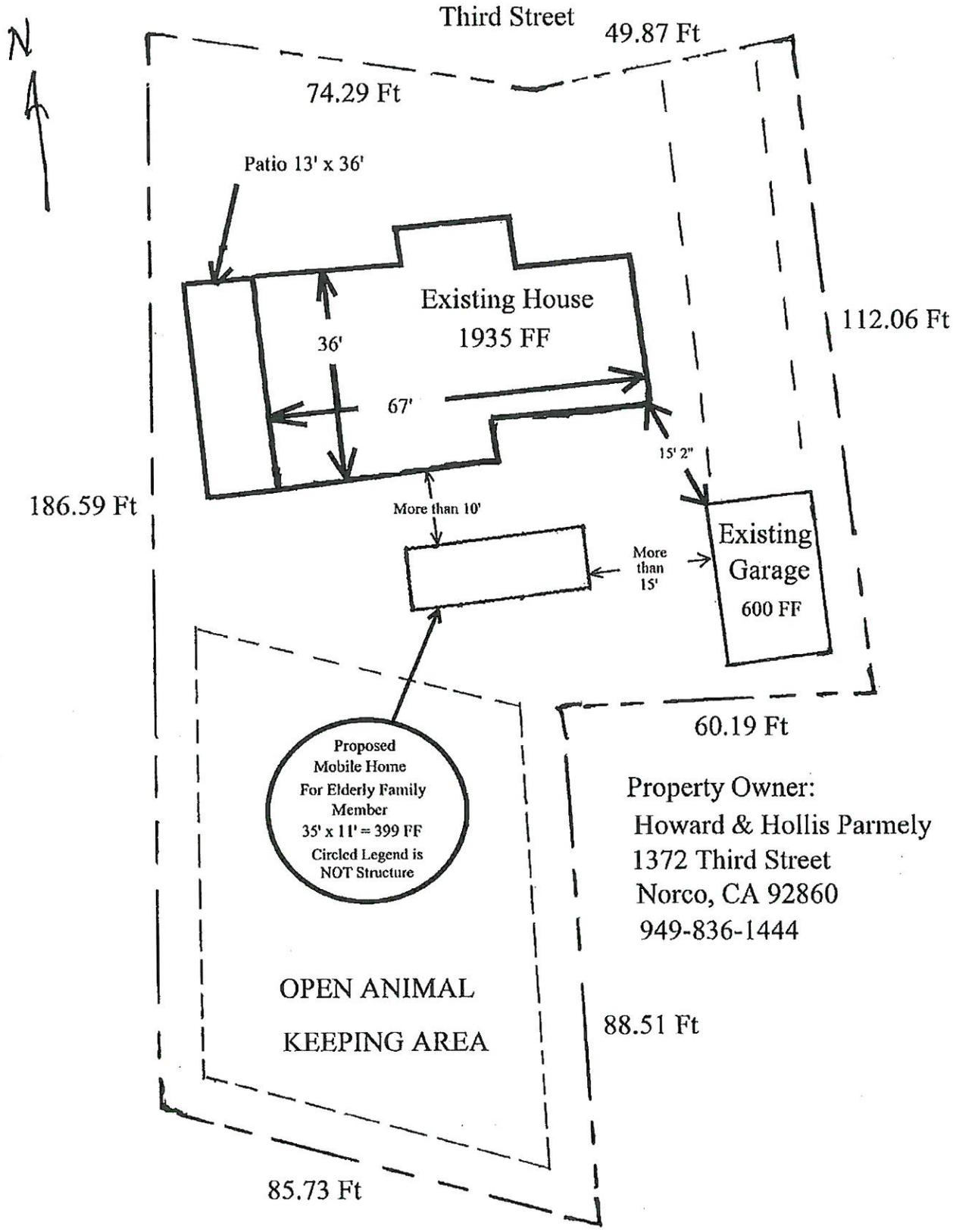
Not to Scale



**PROJECT:** Conditional Use Permit 2015-22  
**APPLICANT:** Howard and Hollis Parmely  
**LOCATION:** 1372 Third Street

**Exhibit "A"**





Property Owner:  
 Howard & Hollis Parmely  
 1372 Third Street  
 Norco, CA 92860  
 949-836-1444

EXHIBIT "C"  
 8.11.15

Anthem

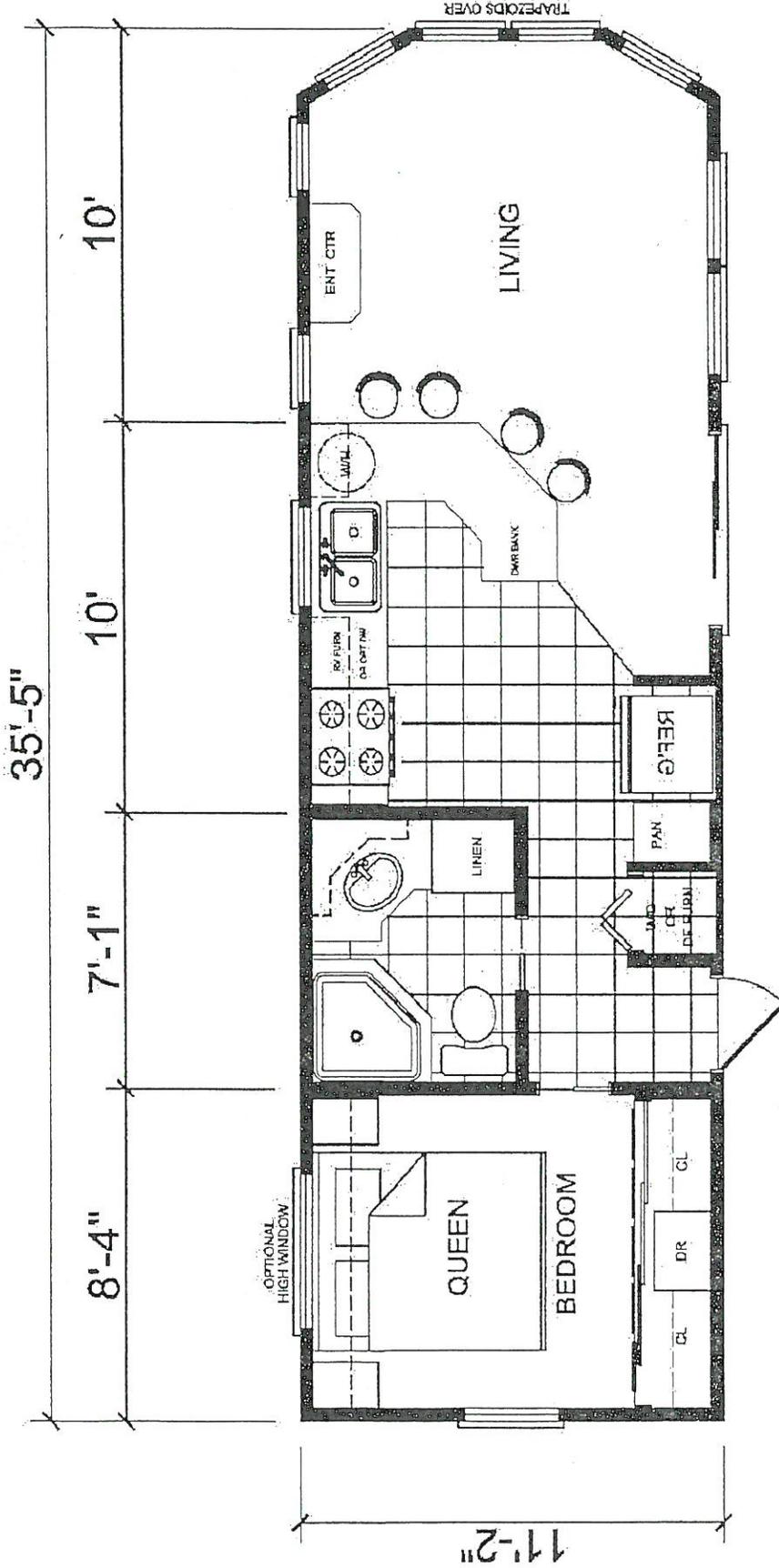
Royal Series Athens PARK HOMES



ParkModelsDirect  
"Factory Direct Value"

1 Bedroom, 1 Bath  
Approx. 399 Sq. Ft.  
Park Model

Last Updated: 3-15-13



I authorize Park Models Direct to build my house, per this plan.

X *Charles C. Sandy* 5-30-15  
Customer Signature / Date

EXHIBIT "D" 8-11-15  
1 of 2

1-800-367-0455 www.ParkModelsDirect.com 1-800-367-0455 www.ParkModelsDirect.com

Important: Due to our policy of continuing improvement, all information in our brochures may vary from actual home. The right is reserved to make changes at any time, without notice or obligation, in colors, materials, specifications, processes, and models. All dimensions and square footage calculations are nominal and approximate figures. Please check with your sales person for specific and current information.

**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Conditional Use Permit 2015-29 (Navarro): A request for approval to allow a detached accessory building consisting of a 855 square-foot garage building at 2879 Sierra Avenue located within the A-1-20 (Agricultural Low Density) Zone.

**RECOMMENDATION:** Remove from public hearing

Conditional Use Permit 2015-29 was advertised in error and needs to be removed from the agenda as a public hearing. This project will be replaced with Site Plan 2015-24, which is the correct application for an accessory building 864 square feet or less, and which does not require a public hearing. This site plan will be brought to the Commission at a future date.

**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Site Plan 2015-17 (Hernandez) A request for approval to allow a detached accessory building consisting of a 852 square-foot garage at 1037 Second Street located within the A-1-20 (Agricultural Low-Density) Zone.

**RECOMMENDATION:** Staff recommends that the Planning Commission adopt Resolution 2015-51 approving Site Plan 2015-17.

Site Plan 2015-17 is a request for approval to allow an accessory building consisting of a 852 square-foot garage at 1037 Second Street (ref. Exhibit "A" – Location Map). The property consists of .85 acres/37,026 square-feet and is developed as a single family residence (ref. Exhibit "B" – APN Map and Exhibit "E" – Aerial and Site Photos).

Accessory buildings 864 square-feet or less require site plan approval by the Planning Commission. The site plan, floor plan and building elevations for the proposed garage are attached (ref. Exhibit "C" – Site Plan and Exhibit "D" – Building Elevations and Floor Plan). The structure is proposed to be located at the front of the property, will be wood framed construction, and will complement the existing house in color.

The following is required of accessory buildings in the A-1-20 Zone:

- The minimum setbacks of 25 feet from the front property line, 5 feet from side property lines and 10 feet from any other structure are required for accessory buildings. **The proposed building will meet these requirements.**
- The maximum height of any accessory structure 864 square feet or smaller is 14 feet, or as approved by the Planning Commission. **The structure is proposed with a maximum height of 13 feet 6 inches as measured to the peak of the roof.**
- The maximum lot coverage of all structures shall be not more than 40% of the total pad area. The pad area is defined as the "flat" part of the lot (4% grade or less). **The subject property is approximately 37,026 square feet, and the entire property has a grade of 4% or less. The lot/pad coverage is approximately 9% which takes into account the existing and proposed structures.**
- A contiguous open animal area must be shown on the site plan which must be rectangular in shape with a minimum of 24 feet on any side. The total open area must be equal to the allowed number of animal units multiplied by 576 square feet. **Based on the size of the property, a total of 8 animal units would be allowed which would require an open area of at least 4,608 square feet. There is a rectangular**



## RESOLUTION 2015-51

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO GRANTING WITH CONDITIONS, SITE PLAN APPROVAL TO ALLOW A DETACHED ACCESSORY BUILDING CONSISTING OF A 852 SQUARE-FOOT GARAGE AT 1037 SECOND STREET LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW-DENSITY) ZONE. SITE PLAN 2015-17.**

WHEREAS, ALICIA HERNANDEZ submitted an application for site plan review to the City of Norco, California under the provisions of Chapter 18.40, Title 18 of the Norco Municipal Code, on property located at 1037 Second Street (APN 123-240-006).

WHEREAS, at the time set; at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid site plan and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The proposal does comply with all applicable requirements of the Norco Municipal Zoning Ordinance and the General Plan.

B. The overall site and architectural design is consistent with the intent and purpose of the Norco General Plan and Norco Municipal Zoning Ordinance.

C. The proposal is reasonably compatible with the area immediately surrounding the site.

D. The proposal is not detrimental and will be desirable to the overall public convenience or general welfare of the persons residing or working in the neighborhood.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled September 30, 2015 that the application for Site Plan 2015-17 is approved, subject to the conditions provided in Section 18.40.10 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan and Exhibit "D" – Building Elevations and Floor Plan dated July 13, 2015 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. This is not an approval to begin work/construction. No work/construction shall commence until the applicant has obtained building permits and has paid all applicable fees for the subject building.

7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. The building shall complement the existing house in color.
9. This site plan approval is for a garage. Building permits for this accessory building are issued within the confines of this permit/site plan approval. Any violation of a condition resulting in a revocation of this permit/site plan approval may result in an order to remove the accessory building at the owner's expense.

##

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015.

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Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

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Steve King, Secretary  
Planning Commission  
City of Norco, California

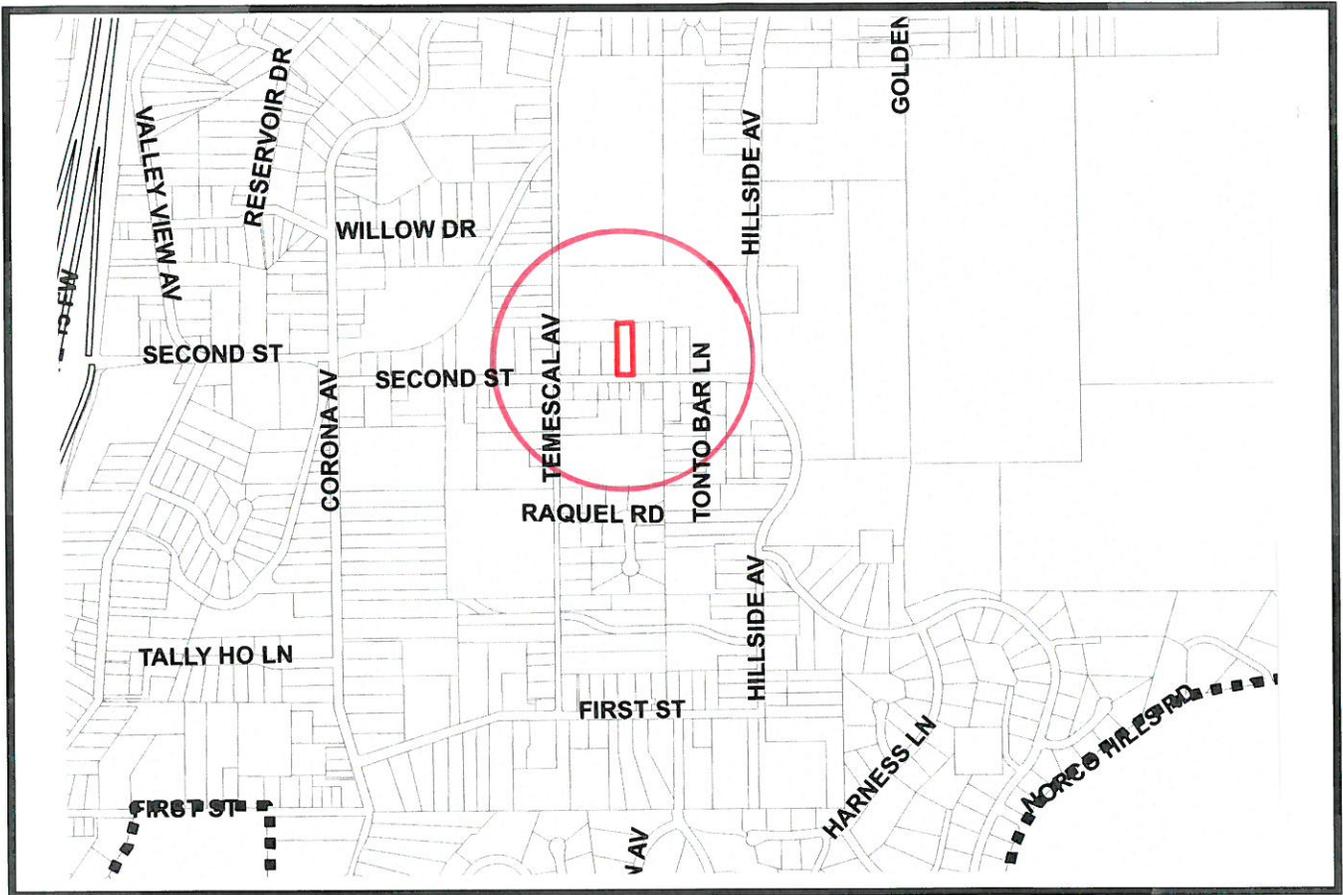
I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held September 30, 2015 by the following roll call vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

# LOCATION MAP



Not to Scale



**PROJECT:** Site Plan 2015-17  
**APPLICANT:** Alicia Hernandez  
**LOCATION:** 1037 Second Street

**Exhibit "A"**



**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Site Plan 2015-16 (Attema) A request for approval to allow a detached accessory building consisting of a 864 square-foot garage at 685 Foxtail Way located within the Norco Hills Specific Plan (NHSP).

**RECOMMENDATION:** Staff recommends that the Planning Commission adopt Resolution 2015-48 approving Site Plan 2015-16.

Site Plan 2015-16 is a request for approval to allow an accessory building consisting of an 864 square-foot garage at 685 Foxtail Way (ref. Exhibit "A" – Location Map). The property consists of 4.24 acres/184,735 square-feet and is developed as a single family residence (ref. Exhibit "B" – APN Map and Exhibit "E" – Aerial and Site Photos).

Accessory buildings 864 square-feet or less require site plan approval by the Planning Commission. The site plan and building elevations for the proposed garage are attached (ref. Exhibit "C" – Site Plan and Exhibit "D" – Building Elevations). The structure is proposed to be located at the front of the property, will be wood framed with pre-fabricated trusses, and will complement the existing house in color and material.

The following is required of accessory buildings in the NHSP Zone:

- The minimum setbacks of 25 feet from the front property line, five feet from side or rear property lines, five feet from pools, and 10 feet from any other structure is required for accessory buildings. **The proposed building will meet these requirements.**
- The maximum height of any accessory structure 864 square feet or smaller is 14 feet, or as approved by the Planning Commission. **The structure is proposed with a maximum height of about 15 feet to the peak of the roof. Staff is recommending that the project be conditioned for a maximum height of 14 feet.**
- The maximum accessory building coverage in the NHSP is 30 percent of the total pad area (note: there is a separate lot coverage requirement for the house). The pad area is defined as the "flat" part of the lot (4% grade or less). **The subject property is approximately 184,735 square feet, and consists of a pad of about 17,300 square feet. The accessory building coverage for the property is about 5%.**

The accessory building ordinance for properties in the NHSP does not require an open animal keeping area since not all properties in the NHSP were graded to safely keep large

animals. As such, a designated open animal keeping area is not required to be shown on the site plan.

As proposed and conditioned, the project meets the minimum requirements for an accessory building of 864 square feet or less. Staff is recommending that the Commission adopt Resolution 2015-48, approving Site Plan 2015-16.

/adr

Attachments:           Resolution 2015-48  
                              Exhibit "A" – Location Map  
                              Exhibit "B" – APN MAP  
                              Exhibit "C" – Site Plan  
                              Exhibit "D" – Building Elevations  
                              Exhibit "E" – Aerial and Site Photos reference

## RESOLUTION 2015-48

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO GRANTING WITH CONDITIONS, SITE PLAN APPROVAL TO ALLOW A DETACHED ACCESSORY BUILDING CONSISTING OF A 864 SQUARE-FOOT GARAGE AT 685 FOXTAIL WAY LOCATED WITHIN THE NORCO HILLS SPECIFIC PLAN (NHSP). SITE PLAN 2015-16.**

WHEREAS, SYMON ATTEMA. submitted an application for site plan review to the City of Norco, California under the provisions of Chapter 18.40, Title 18 of the Norco Municipal Code, on property located at 685 Foxtail Way (APN 123-390-015).

WHEREAS, at the time set; at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid site plan and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The proposal does comply with all applicable requirements of the NHSP, Norco Municipal Zoning Ordinance and the General Plan.

B. The overall site and architectural design is consistent with the intent and purpose of the NHSP, Norco General Plan and Norco Municipal Zoning Ordinance.

C. The proposal is reasonably compatible with the area immediately surrounding the site.

D. The proposal is not detrimental and will be desirable to the overall public convenience or general welfare of the persons residing or working in the neighborhood.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled September 30, 2015 that the application for Site Plan 2015-16 is approved, subject to the conditions provided in Section 18.40.10 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan, Exhibit "D" – "Building Elevations dated July 1, 2015 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. This is not an approval to begin work/construction. No work/construction shall commence until the applicant has obtained building permits and has paid all applicable fees for the subject building.

7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. A home occupation business shall not be permitted from the subject building.
9. The building shall complement the existing house in color.
10. This site plan approval is for a garage. Building permits for this accessory building are issued within the confines of this permit/site plan approval. Any violation of a condition resulting in a revocation of this permit/site plan approval may result in an order to remove the accessory building at the owner's expense.
11. The garage shall have a maximum height of 14 feet as measured from outside finished grade, to the peak of the roof.

##

Resolution 2015-48  
Page 4  
September 30, 2015

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015.

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Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

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Steve King, Secretary  
Planning Commission  
City of Norco, California

I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held September 30, 2015 by the following roll call vote:

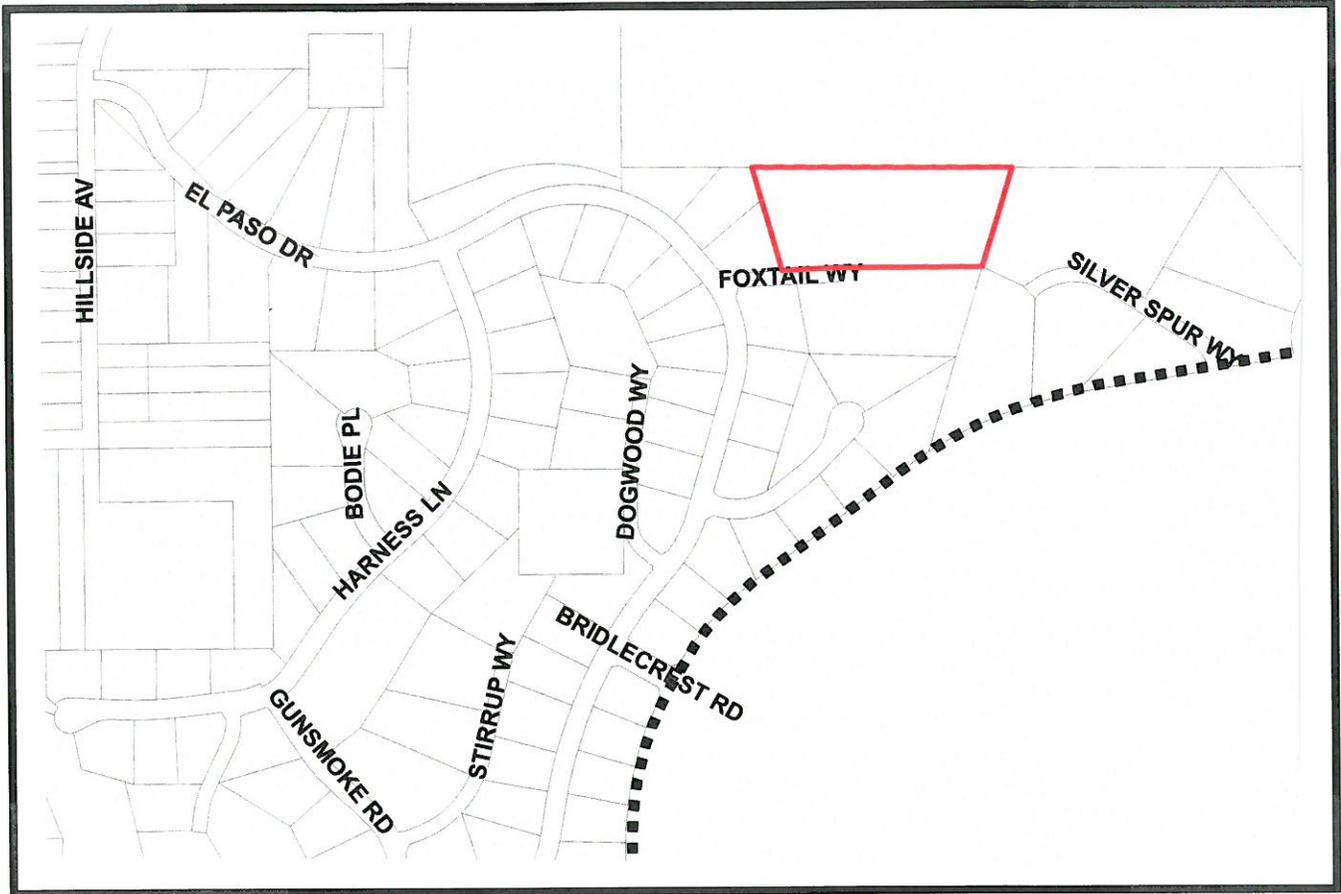
AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

/adr

# LOCATION MAP



Not to Scale



**PROJECT:** Site Plan 2015-16  
**APPLICANT:** Symon Attema  
**LOCATION:** 685 Foxtail Way

**Exhibit "A"**

# ASSESSOR'S PARCEL MAP

123-39  
123-33

T.R.A. 015-007

POR. SW 17 T. 35. R. 6W  
CITY OF NORCO CORONA

AS WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAP NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING ZONING ORDINANCES.

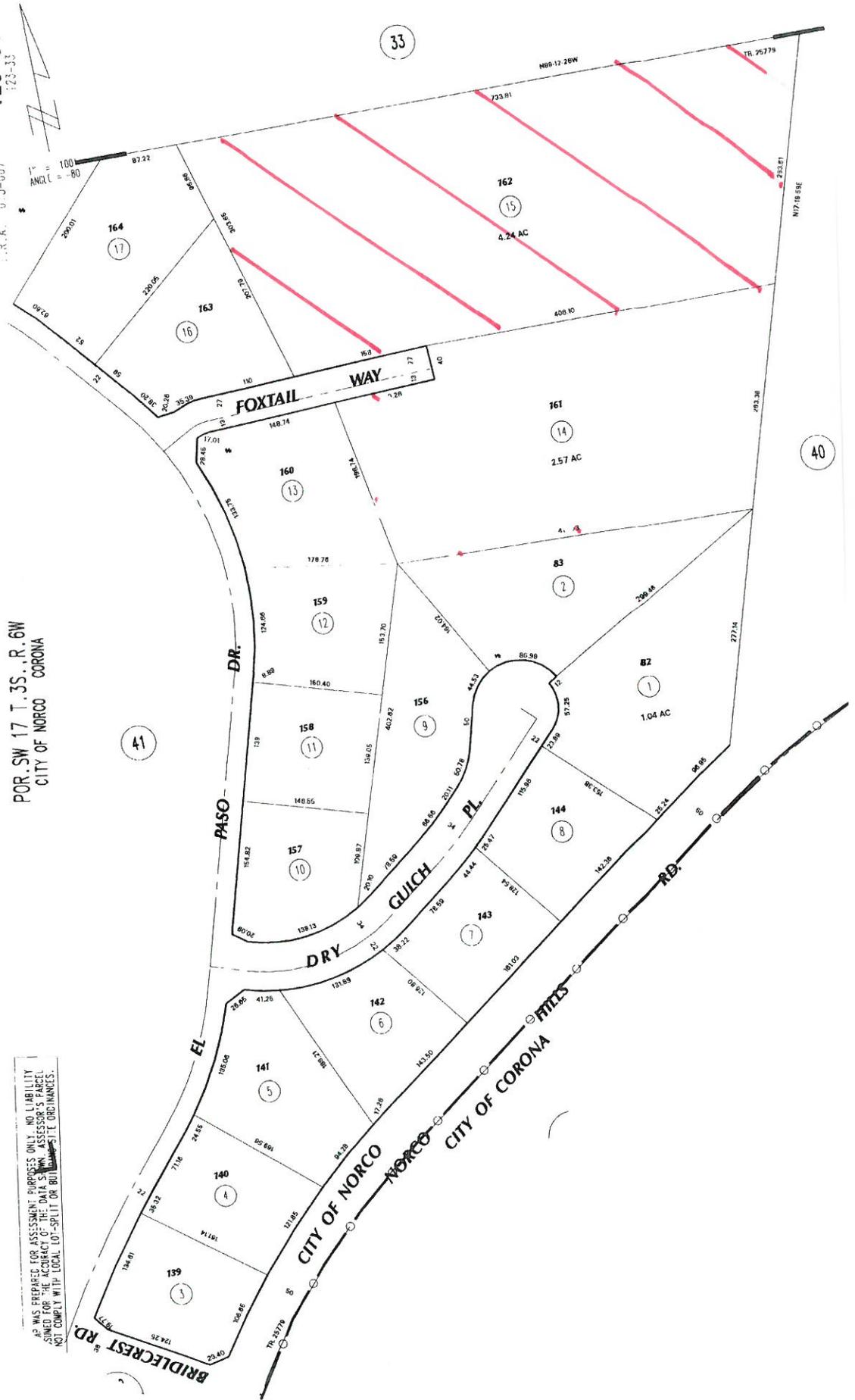
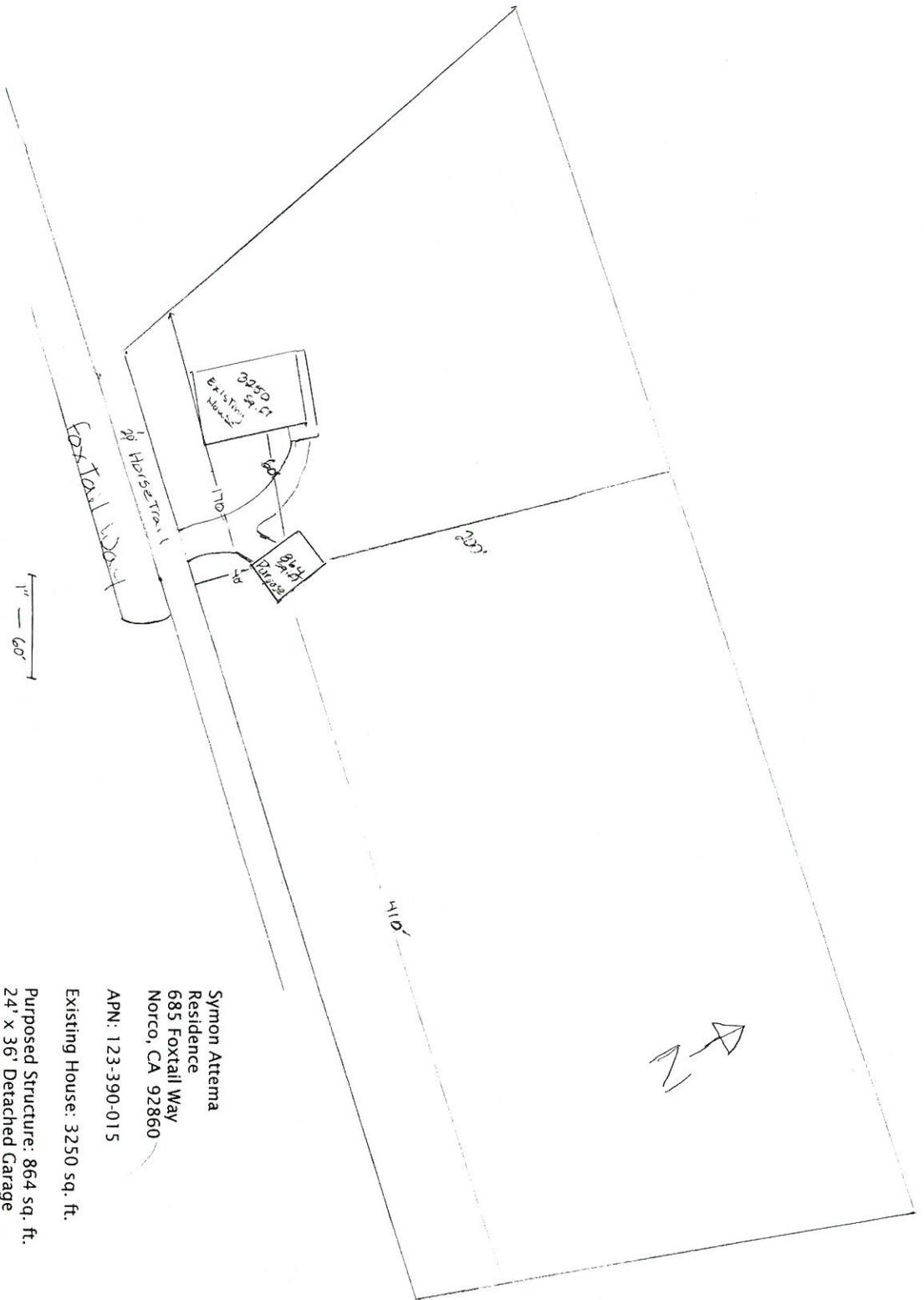
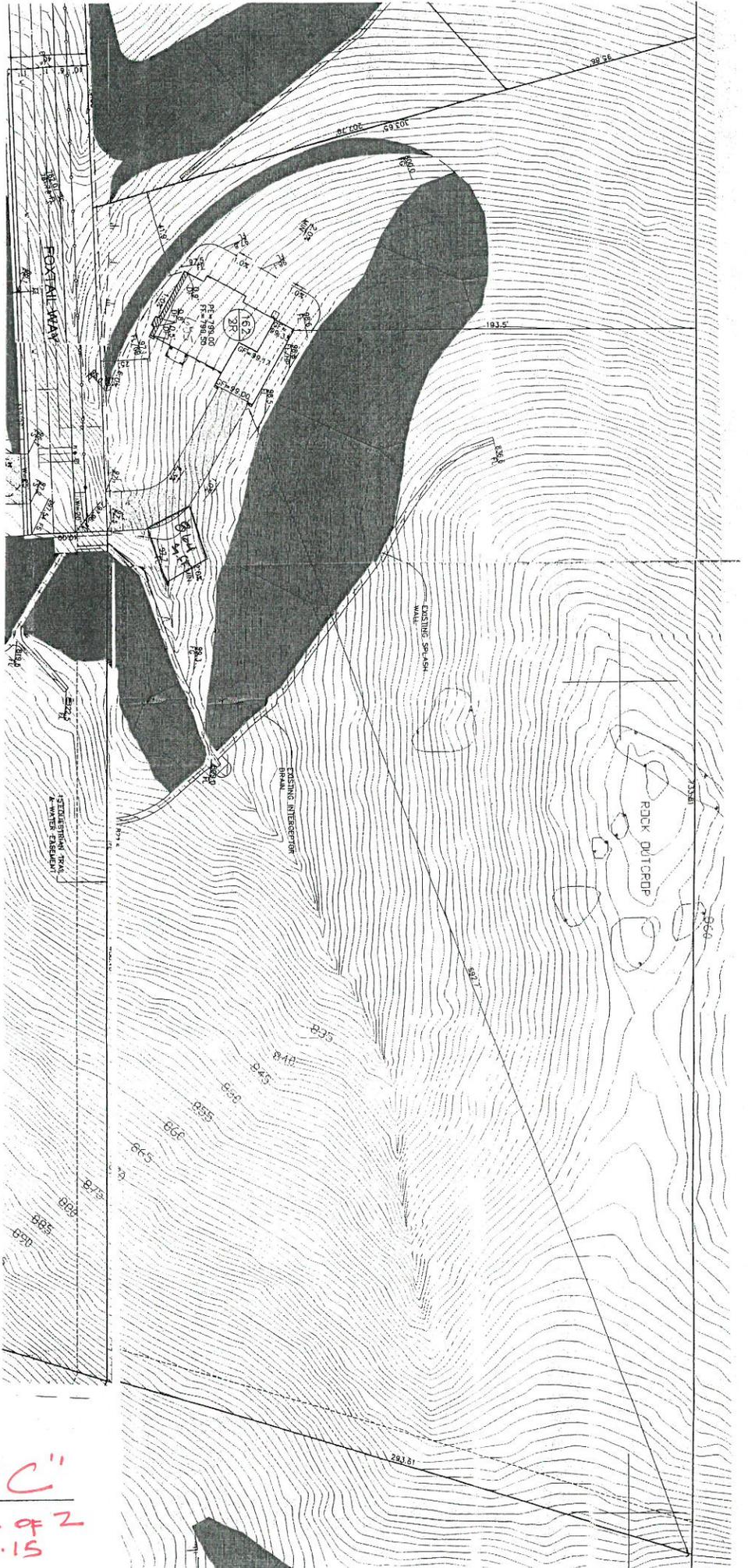


Exhibit "B"



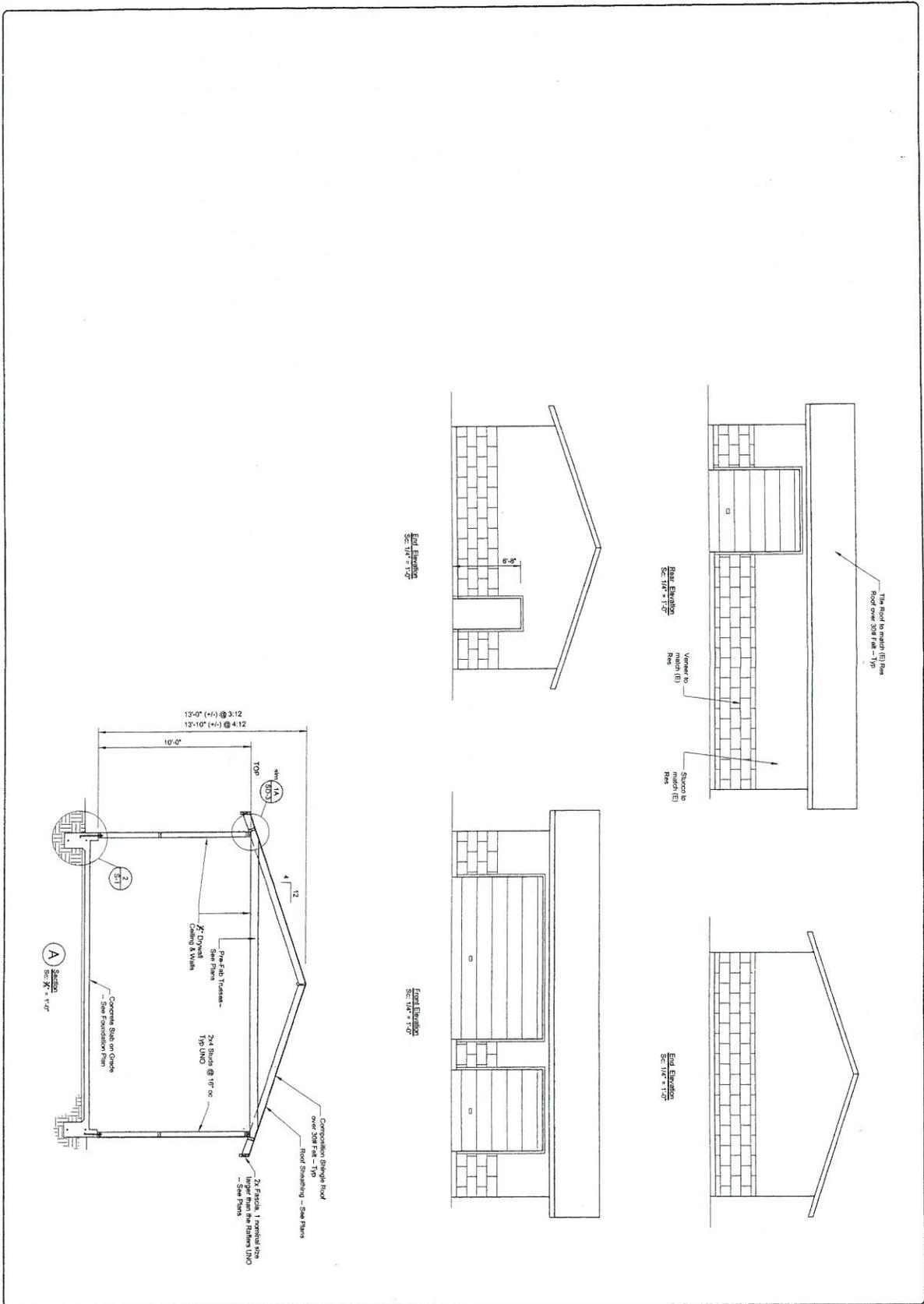
Symon Attema  
 Residence  
 685 Foxtail Way  
 Norco, CA 92860  
 APN: 123-390-015  
 Existing House: 3250 sq. ft.  
 Purposed Structure: 864 sq. ft.  
 24' x 36' Detached Garage  
 Framing: Wood Framing with Pre-Fab Trusses  
 Exterior: Stucco and Veneer to match residence  
 Roofing: Composition Shingle roof  
 Building to match and complement House



\* NOT FOR EXACT LOCATION - JUST FOR REFERENCE ON GRADUITY  
 PLAN FOR APPROX LOCATION.

Dunnon Attenu  
 685 Foxtail Way  
 Norco, CA 94860  
 APN: 183-390-015

EXHIBIT "C"  
 2 of 2  
 7.1.15



S-2	Date	13 April 15
	Drawn by	George McCurdy
	Job Number	15-27
	Scale	As noted
	Sheet	1 of 2

**STRUCTURAL FRAMING DETAILS**  
 Details on this sheet apply to this project only when specifically referenced from the Drawings.  
 All other details not specifically referenced are not used and are voided. For flashing, waterproofing, interior and exterior finishes, etc., please see the Architectural Drawings.


 George McCurdy  
 Structural Engineer  
 117-A South Main Street, Lake Elsinore, California 92530  
 voice & fax: 951/874-9543    e-mail: lilehouse@george@yahoo.com  
 web site: georgemccurdystructuralengineer.com


 15-27  
 15 APR 15 10:00 AM  
 15-27

EXHIBIT "D" 7.1.15

**CITY OF NORCO  
STAFF REPORT**

**TO:** Honorable Chair and Members of the Planning Commission

**FROM:** Alma Robles, Senior Planner

**DATE:** September 30, 2015

**SUBJECT:** Site Plan 2015-08 (Viramontes): A request for approval to allow two detached accessory building consisting of a 576 square-foot storage/workshop building with an attached 122 square-foot covered porch, and an 864 square-foot covered horse corral/stable at 2348 Valley View Avenue located within the A-1-20 (Agricultural Low-Density) zone.

**RECOMMENDATION:** Staff recommends that the Planning Commission adopt Resolution 2015-55 approving Site Plan 2015-08.

Site Plan 2015-08 is a request for approval to allow two accessory buildings consisting of a 576 square-foot storage/workshop building with an attached 122 square-foot covered porch, and an 864 square-foot covered corral/stable at 2348 Valley View Avenue (ref. Exhibit "A" – Location Map). The property consists of .38 acres/16,552 square-feet and is developed with a single family residence (ref. Exhibit "B" – APN Map and Exhibit "D" – Aerial and Site Photos).

About 352 square feet of the subject storage/workshop existed (without permits) before the applicant purchased the property, and the remaining 244 square feet was added by the current owner without permits. Staff was made aware of this building via a complaint, and as a result there is an active code case on the property. The applicant began the permitting process in 2013, where the subject buildings (workshop and corral) were approved under Site Plan 2013-27. However; the site plan approval was revoked since the applicant did not follow through with obtaining building permits and continued to work on storage/workshop. The proposed corral/stable does not exist and is not a subject of the code case.

This current application (Site Plan 2015-08) has been submitted for approval by the Planning Commission in the pursuit of obtaining the required permits for the storage/workshop.

Accessory buildings 864 square-feet or less require site plan approval by the Planning Commission. The site plan, floor plans and building elevations for the proposed structures are attached (ref. Exhibit "C" – Site Plan, Floor Plans and Building Elevations). The storage/workshop building is proposed to be wood framed with a stucco exterior (that will match existing house in color), an asphalt shingle roof, and will



## RESOLUTION 2015-55

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO GRANTING WITH CONDITIONS, SITE PLAN APPROVAL TO ALLOW TWO ACCESSORY BUILDINGS CONSISTING OF A 576 SQUARE-FOOT STORAGE/WORKSHOP BUILDING WITH A 122 SQUARE-FOOT COVERED PORCH AND A 864 SQUARE-FOOT COVERED HORSE CORRAL/STABLE AT 2348 VALLEY VIEW AVENUE LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW DENSITY) ZONE. SITE PLAN 2015-08.**

WHEREAS, LILIA VIRAMONTES submitted an application for a site plan review to the City of Norco, California under the provisions of Chapter 18.40, Title 18 of the Norco Municipal Code, on property located at 2348 Valley View Avenue (APN 125-030-017).

WHEREAS, at the time set; at 7 p.m. on September 30, 2015 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid site plan and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The proposal does comply with all applicable requirements of the Norco Municipal Zoning Ordinance and the General Plan.

B. The overall site and architectural design is consistent with the intent and purpose of the Norco General Plan and Norco Municipal Zoning Ordinance.

C. The proposal is reasonably compatible with the area immediately surrounding the site.

D. The proposal is not detrimental and will be desirable to the overall public convenience or general welfare of the persons residing or working in the neighborhood.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

**DETERMINATION:**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled September 30, 2015 that the application for Site Plan 2015-08 is approved, subject to the conditions provided in Section 18.40.10 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan, Floor Plan and Building Elevations dated April 23, 2015 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.

6. This is not an approval to continue or begin work/construction. No work/construction shall continue or commence until the applicant has obtained all building permits and paid all applicable fees for the subject buildings.
7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. A home occupation business shall not be permitted from the subject buildings.
9. The storage/workshop building shall complement the existing house in color.
10. This site plan approval is for a storage/workshop building and a covered horse corral/stable. Building permits for this accessory building are issued within the confines of this permit/site plan approval. Any violation of a condition resulting in a revocation of this permit/site plan approval may result in an order to remove the accessory building at the owner's expense.
11. No habitable use is allowed in the storage/workshop building. All interior walls of this building shall be removed except for the walls around the bathroom. The bathroom area shall only be large enough to accommodate a toilet and a sink.

##

Resolution 2015-55  
Page 4  
September 30, 2015

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on September 30, 2015.

---

Patricia Hedges, Chair  
Planning Commission  
City of Norco, California

ATTEST:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular adjourned meeting thereof held September 30, 2015 by the following roll call vote:

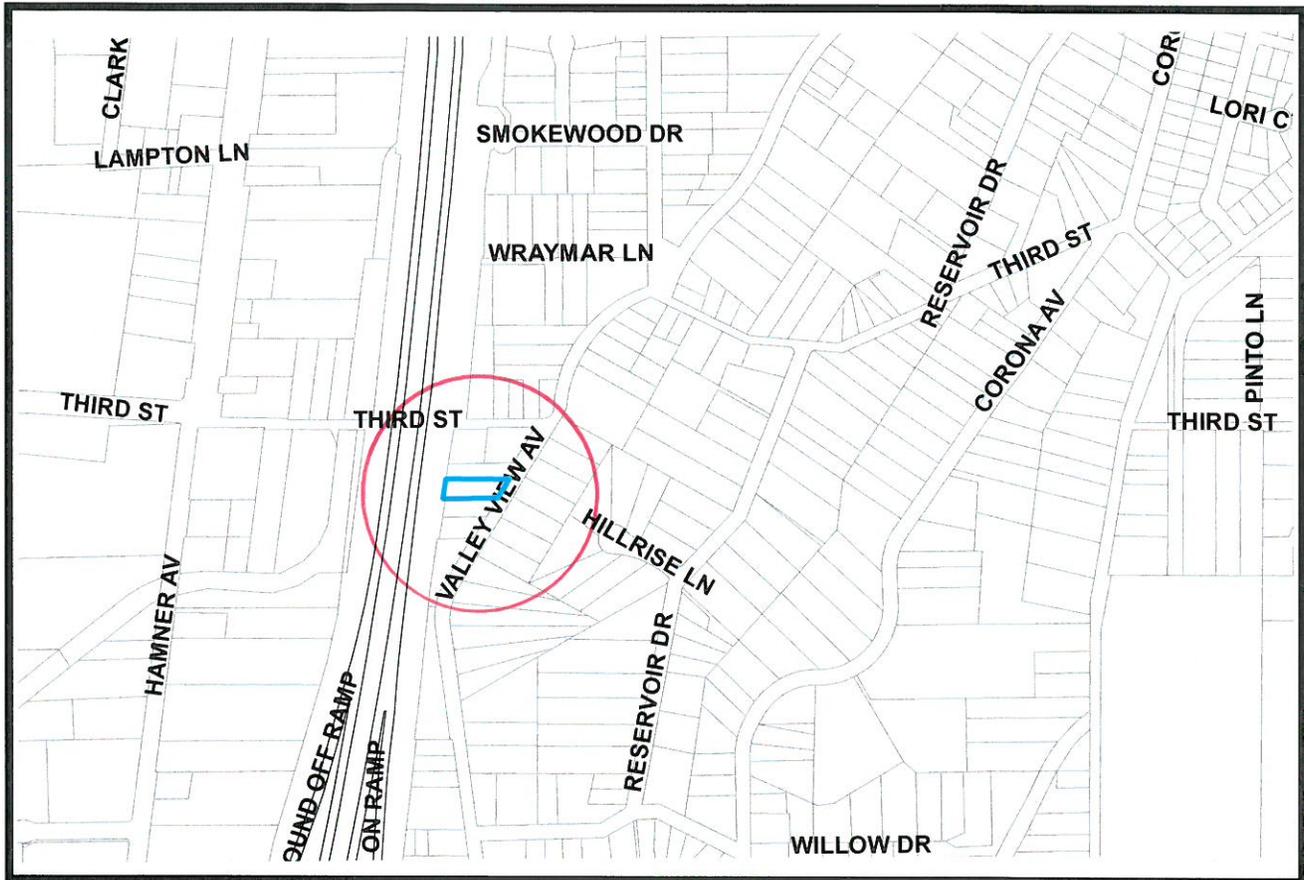
AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Steve King, Secretary  
Planning Commission  
City of Norco, California

/adr

# LOCATION MAP



Not to Scale



**PROJECT:** Site Plan 2015-08  
**APPLICANT:** Lilia Viramontes  
**LOCATION:** 2348 Valley View Avenue

**Exhibit "A"**

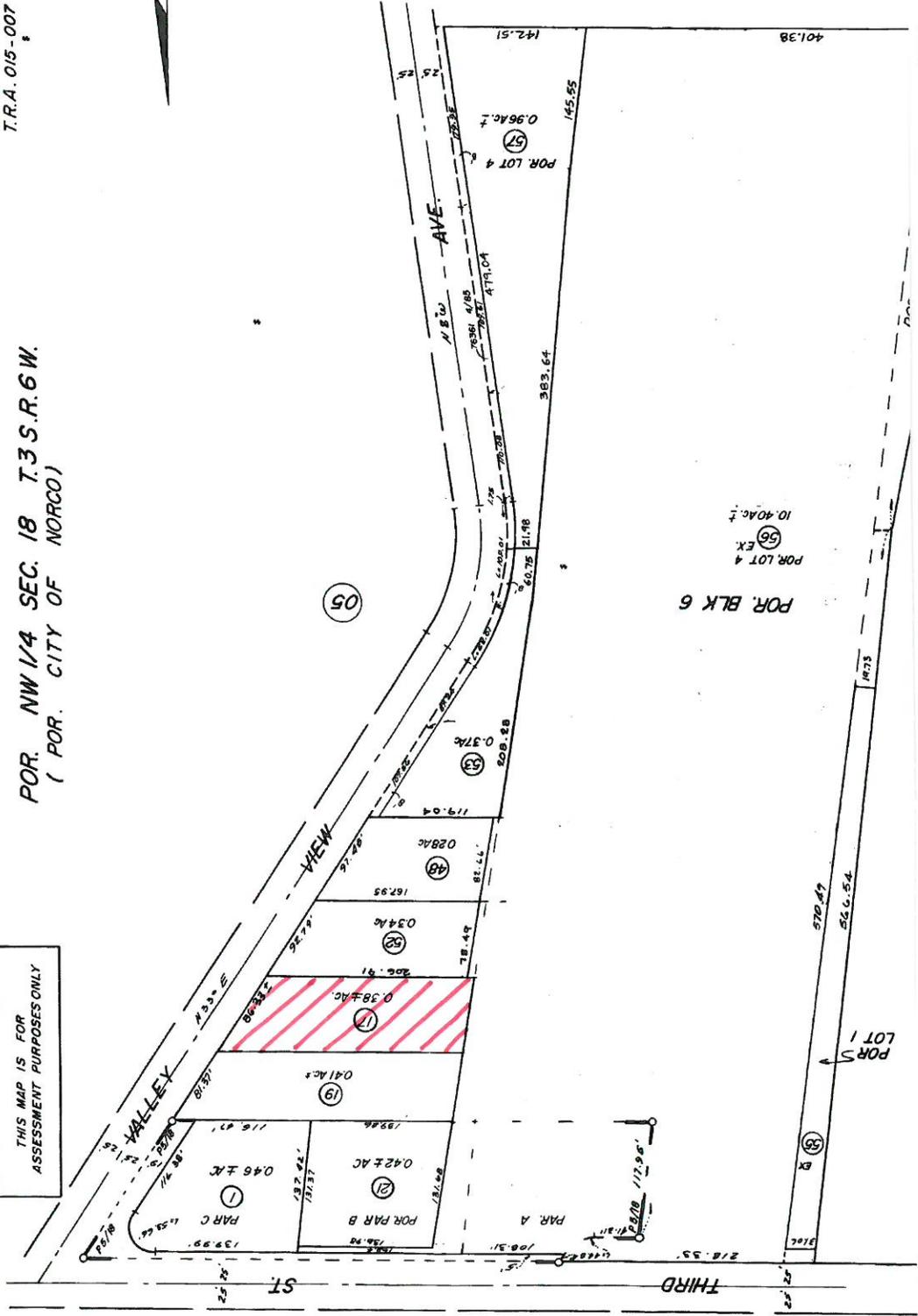
# ASSESSOR'S PARCEL MAP

9-10  
125-03

T.R.A. 015-007

POR. NW 1/4 SEC. 18 T.3 S.R.6 W.  
(POR. CITY OF NORCO)

THIS MAP IS FOR  
ASSESSMENT PURPOSES ONLY



DATE	OLD NO.	NEW NO.
9/25/87	35,45,46	46
8/86	7	46, 49
4/78	3, 4, 5, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16	50
5/78	20	51, 52
3-89	51	54, 55
8/88	54	56, 57

DATE	OLD NO.	NEW NO.
10/84	5	17, 18
12/84	4	19, 20
1/85	2	21, 22

Exhibit "B"