



**CITY OF NORCO
PLANNING COMMISSION REGULAR MEETING AGENDA**

**Wednesday January 22, 2020
City Council Chambers, 2820 Clark Avenue, Norco CA 92860**

CALL TO ORDER: 7:00 p.m.

ROLL CALL: Phil Jaffarian, Chair
Patricia Hedges, Vice Chair
Danny Azevedo, Commission Member
Robert Leonard, Commission Member
John Rigler, Commission Member

PLEDGE OF ALLEGIANCE: Chair Phil Jaffarian

APPEAL NOTICE: In the event that you disagree with the action taken by the Planning Commission in regards to your application, or with any condition for approval of the application which is not a specific requirement of the Norco Municipal Code, you are entitled to appeal such determination or conditions to the Norco City Council, provided that such appeal is filed with the Norco City Clerk within ten calendar days after the requirements for appeals, inclusive of payment of an appeal fee.

1. **PUBLIC COMMENTS:** Hearing from the audience on items not listed on the agenda. Please limit your comments to three (3) minutes. Be sure to complete a speaker card at the entrance of the room and present it to the Clerk so that you may be recognized.
2. **APPROVAL OF MINUTES:**
 - A. Minutes of Regular Meeting of November 13, 2019 and December 11, 2019
Recommended Action: Approval (Minutes Clerk)

3. **PUBLIC HEARING:**

Order of Presentation for Public Hearing Items:

1. *Staff Presentation*
2. *Commission Questions of Staff*
3. *Open Public Hearing*
 - a. *Comments by Applicant*
 - b. *Public Speakers in Favor, Against, or Neutral*
 - c. *Applicant Response to Comments*
 - d. *Questions of Applicants*
4. *Close Public Hearing*
5. *Commission Discussion and Action*

4. CONTINUED BUSINESS ITEMS:

A. **Site Plan 2019-16 (Provencio):** A request for approval of an Accessory Building Use Permit to allow a 720 square-foot large vehicle parking building at 1611 Corona Avenue, located within the A-1-40 (Agricultural Low Density) Zone.

5. BUSINESS ITEMS:

A. **Site Plan 2019-12 (Dean):** A request for approval of an Accessory Building Use Permit to allow a 900 square-foot large vehicle parking building at 2840 Walking Horse Ranch Drive, located within the A-1-20 (Agricultural Low Density) Zone.

6. PLANNING COMMISSION / STAFF COMMUNICATIONS:

- A. Oral Reports from Various Committees
- B. Request for Items on Future Agenda (within the purview of the Commission)

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (951) 270-5623. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.102-35.104 ADA Title II)

Staff reports are on file in the Planning Division.

Additionally, any writings or documents provided after distribution of the Planning Commission's agenda packet to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Division counter at City Hall located at 2870 Clark Avenue.

The meeting is recorded.



**CITY OF NORCO
PLANNING COMMISSION REGULAR MEETING MINUTES**

**Wednesday November 13, 2019
City Council Chambers, 2820 Clark Avenue, Norco CA 92860**

CALL TO ORDER: 7:00 p.m.

ROLL CALL:
Present:
Phil Jaffarian, Chair
Patricia Hedges, Vice Chair
Danny Azevedo, Commission Member
Robert Leonard, Commission Member
John Rigler, Commission Member

PLEDGE OF ALLEGIANCE: Member Danny Azevedo

APPEAL NOTICE: Read by Director King

1. PUBLIC COMMENTS:

- NONE

2. APPROVAL OF MINUTES:

A. Minutes of Regular Meeting October 9, 2019. **Recommended Action: Approval** (Minutes Clerk)

M/S RIGLER/HEDGES to approve Planning Commission Regular Meeting Minutes of October 9, 2019, as written; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, RIGLER

NOES: NONE

ABSENT: NONE

ABSTAIN: LEONARD

3. PUBLIC HEARING:

A. **Conditional Use Permit 2019-07, Variance 2019-09 (Sahil Investment Group):** A proposal to construct a 4-story, 90-room hotel with a variance to exceed the maximum allowed height of 50 feet on the southeast corner of Hamner Avenue and Fifth Street (3361 Hamner Avenue) in the C-G (Commercial General) Zone. **Recommended Action: Approval** (Planning Director)

Director King presented the staff report on file in the Planning Department. All requirements were met; staff recommends approval. Director King presented a Power Point presentation for all to view.

Member Rigler asked about condition number 34 and the horse crossing and if it will be maintained, Director King noted yes.

Chair Jaffarian OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak.

Bill Naylor noted he is in favor of the project, however he agrees with Member Rigler in regards to the horse trail and that it will not be concrete.

Chair Jaffarian CLOSED the public hearing, bringing the discussion back to the Commission.

M/S HEDGES/LEONARD to adopt Resolution 2019-27 to approve Conditional Use Permit 2019-07 to allow a 4-story, 90-room hotel with the added note for horse trail maintenance on condition number 34; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, LEONARD, RIGLER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

M/S HEDGES/LEONARD to adopt Resolution 2019-28 to approve Variance 2019-09 to allow exceed the maximum height of 50 feet; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, LEONARD, RIGLER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

4. BUSINESS ITEMS:

- A. **Site Plan 2019-14 (Wehrl)**: A request for approval of an Accessory Building Use Permit to allow a 1,344 square-foot large animal keeping shelter/barn at 4362 Hillside Avenue, located within the A-1-20 (Agricultural Low Density) Zone. **Recommended Action:** Approval (Senior Planner)

Planner Robles presented the staff report on file in the Planning Department. All requirements were met; staff recommends approval.

Member Rigler questioned staff in regards to the shipping containers noted on the site plan at the site, and asked about the process in keeping one on site, Planner Robles stated the containers would need a CUP, Member Rigler asked if they have a CUP, Planner Robles stated no.

Member Leonard asked if there was any proposed interior walls, Planner Robles stated no.

Chair Jaffarian invited those wishing to speak,

Applicant present, Member Leonard asked the applicant what type of business he is in, he stated sales. Member Leonard asked who erected the building, applicant stated he and some friends. Member Leonard noted that no walls would be allowed.

Member Rigler asked the applicant if he was prepared to remove the shipping containers, applicant stated he wished he knew that it was necessary, but will do it.

Chair Jaffarian brought discussion back to commission.

Member Leonard stated the applicant is a contractor, and the building is going to turn into a metal building and not a barn, and there are also shipping containers on site that should not be there.

Member Azevedo noted that the building does in fact have sides or walls, applicant explained its panels not walls.

Member Rigler questioned again about the containers and a code case, Director King and Planner Robles explained the steps that would be taken.

M/S JAFFARIAN/HEDGES to adopt Resolution 2019-29 to approve Site Plan 2019-14 to allow a 1,344sqft large animal keeping shelter/barn to 4362 Hillside Avenue with the added condition that the walls are noted as panels, and the containers needs to be removed or needs a CUP prior to the completion of the building; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, RIGLER
NOES: LEONARD
ABSENT: NONE
ABSTAIN: NONE

B. Site Plan 2018-11 (Strumpf): A proposal to construct a 6,826 square-foot, two-story multi-tenant office building at 1919 First Street (APN 126-250-016) located within the Commercial District of the Gateway Specific Plan. **Recommended Action:** Approval (Senior Planner)

Planner Robles presented the staff report on file in the Planning Department. All requirements were met; staff recommends approval. Planner Robles presented a Power Point presentation for all to view. Director King noted that staff received an email in regards to the project and explained how staff presented it.

Member Leonard left due to a financial conflict.

Vice Chair Hedges asked staff in regards to the zoning of the site, Planner Robles explained. Vice Chair Hedges asked about the street behind the property, Planner Robles noted that the only access would be from First Street.

Member Azevedo asked about the Edison easement, Planner Robles stated the applicant can clarify.

Chair Jaffarian invited those wishing to speak

Dan Hinson, applicant explained the grading and the proposed steps for drainage.

Member Rigler asked about the drainage basin and the street widening, Dan stated the project is prosed with the First Street widening already in place.

James Wilson represents 1921 First Street and 2019 Acre, stated some concerns in regards to the drainage, and issues with the Edison poles and raised the grade without a permit, and an existing stub wall, that all comes to 10' and now they are going to raise it more, requested that the commission grant an extension of time before making a decision.

Dan Hinson responded to Mr. Wilson's questions and concerns, he stated that in regards to the Edison easement, after 7 years its considered an easement automatically. The stub wall is going to be removed. Mr. Hinson then explained about the drainage.

Chair Jaffarian brought discussion back to commission.

M/S JAFFARIAN/AZEVEDO to adopt Resolution 2019-30 to approve Site Plan 2018-11 to allow a 6,826sqft two-story multi-tenant office building at 1919 First Street; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, RIGLER
NOES: NONE
ABSENT: LEONARD
ABSTAIN: NONE

5. **PLANNING COMMISSION / STAFF COMMUNICATIONS:**
 - A. Oral Reports from Various Committees:
 - NONE
 - B. Request for Items on Future Agenda (within the purview of the Commission)
 - NONE

ADJOURNMENT: Chair Jaffarian adjourned the meeting at **8:16 p.m.**

Respectfully submitted,

Lacey David
Minutes Clerk
Planning Commission



**CITY OF NORCO
PLANNING COMMISSION REGULAR MEETING MINUTES**

**Wednesday December 11, 2019
City Council Chambers, 2820 Clark Avenue, Norco CA 92860**

CALL TO ORDER: 7:00 p.m.

ROLL CALL: Present:
Phil Jaffarian, Chair
Patricia Hedges, Vice Chair
Danny Azevedo, Commission Member
Robert Leonard, Commission Member
John Rigler, Commission Member

PLEDGE OF ALLEGIANCE: Member John Rigler

APPEAL NOTICE: Read by Director King

1. PUBLIC COMMENTS:

- NONE

2. APPROVAL OF MINUTES:

- A. Minutes of Regular Meeting November 13, 2019. Recommended Action: Continue to next planning commission meeting (Minutes Clerk)**

M/S HEDGES/LEONARD to continue to next planning commission meeting of January 22, 2020; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, LEONARD, RIGLER

NOES: NONE

ABSENT: NONE

ABSTAIN: NONE

3. PUBLIC HEARING:

- A. Conditional Use Permit 2019-03, Conditional Use Permit 2019-08 (Schamber):** A proposal to construct a private park entertainment facility on 26 acres in multiple buildings (CUP 2019-03), and a proposal for a caretaker unit associated with CUP 2019-03 at 379 North Drive in the A-E (Agricultural Estate) Zone. **Recommended Action:** Approval (Planning Director)

Director King presented the staff report on file in the Planning Department. All requirements were met; staff recommends approval.

Vice Chair Hedges questioned staff in regards to the lighting, Director King noted that this is in a residential zone so the code is different from commercial, the code states

that lighting cannot overflow into neighboring properties and lighting has already been installed, Vice Chair Hedges asked if this would be checked, Director King noted that the commission can add that condition, Vice Chair Hedges asked about the hours as stated in the conditions, Director King noted that the applicant is the one who stated the hours.

Member Leonard questioned staff in regards to the zoning of the site, he noted that in the staff report there are commercial uses, Director King noted those listed are a "permitted use" of the site, Member Leonard asked about certain scenarios in reference to other residential sites, Director King noted a CUP would be required however it is not a guarantee. Member Leonard asked about the noise, Attorney Harper noted that the noise ordinance would take precedence, and noted that the planning commission could be more restrictive. Member Leonard asked about the private street and the maintenance and a meeting between neighbors, Director King noted there has been no meeting, however there is a condition that the applicant must prove they have access and use of the easement. Member Leonard asked about ADA parking, restrooms, and fire access, Director King explained the project was conditioned based off of information received from the PRB meeting. Member Leonard asked how long the site has been zoned A-E, Director King noted at least 25 years.

Member Azevedo questioned staff how many equestrian event centers are here in Norco mixed in with residential and of this size, Director King noted others are in town but the largest would be about 10 acres.

Member Rigler questioned about the private road and there not being an agreement between all the neighbors and that if the road agreement is not in place there is an issue, and noted an issue with the restrooms and allowed capacity (occupant load) and asked about the impact of the new restroom on the existing system

Chair Jaffarian asked staff with the size of the lot, at 26 acres, is about 15 buildable acres so that would be 30 homes, Director King noted yes in the A-E zone, Chair Jaffarian questioned Senior Engineer Sam Nelson if the system would be capable to support 30 homes, Mr. Nelson answered he believed so, Chair Jaffarian asked if two members of the commission attended events would that mean they would need to recuse themselves, Attorney Harper stated no.

Chair Jaffarian OPENED the public hearing, indicating that proper notification had been made and asked for the appearance of those wishing to speak.

Tim Shamber, property owner and applicant, he stated that the out building with the restrooms was built by the previous owner, and needed repairs so he rebuilt it, and found 3 rusted barrels, he removed those and had someone install a 900 gallon septic system, after talking with Director King he plans to attach these restrooms to the sewer system with a pump. Stated that he was having issues with noise, even for his own personal parties, so he decided to build a building, he came to city hall and talked with Alma in regards to the process and was told the site was not zoned for what he wanted, he then tried to apply for an event permit per basis, and that is not allowed, so he

decided to build the wedding building and stated that how he ended up in the spot he is in. He stated he is will to meet all the requirements except for the requirement for the Precis Grading Plan, he said he didn't move dirt, he just put in footings, and would like that to be removed.

Member Rigler asked if the applicant stated correctly that he came to city hall and was told he could not build the structure but built it anyway, applicant stated yes, he was left with no choice. Director King noted that Planner Robles was reviewing the process as an accessory building to the existing use, it's now proposed as an event center.

Member Azevedo asked if the applicant was cited at any time, the applicant stated he was not.

Member Leonard thanked the applicant for allowing him on the property, then asked about the restrooms and the quantity on site, Mr. Shamber stated that he requires whoever is renting the site depending on the amount of people attending they will have to rent porta potty. Member Leonard stated even then there is still not enough for the amount of people coming to the site, he then asked how many properties are along the road to the site, Mr. Shamber could not confirm, Member Leonard stated there are issues with shared roads, and would like to see all the residents that share the road agree to the approved use.

Vice Chair Hedges asked the applicant how many structures were built without a permit, the applicant stated the main barn, torn down the existing bathrooms and rebuilt it, and 4 or 5 horse covers, Vice Chair Hedges confirm if it was just the 2 buildings besides the horse covers, applicant stated that the barn was a 60x40 and then a year later added 10x40 at the rear.

David Haigh resides at 350 Filly Lane, been a resident for 17 years, noted the error in regards to the access off Filly Lane, has concerns about the access on North, and noted that if a car is in the road that access for emergency vehicles would not be able to pass, and if cars are trying to exit the site in an emergency there would not be enough room, he noted that the previous owner tried to do the same thing and it was previously denied, and doesn't think that there have been a lot of changes to obtain approval, and is very concerned that this site would allow the use a restaurant on this site and the hours of service.

Clint Stone lives on Filly Lane, the concern was about the access from Filly and is glad to hear that will not be allowed, however he does have concerns because people will drive up Filly Lane thinking they are going to the site and have to turn around.

Oscar Chavez is direct neighbor, is on Filly Lane, was concerned about the access from Filly Lane, but also has an issue with the dust coming from the site causing him to have to clean his pool and solar more frequently.

Elisa Chavez, wife of previous speaker and agrees with all other speakers.

Oscar Chavez submitted pictures showing how much traffic is going in and out of site without an event in progress, and stated that the applicant has events during the week as well even though he stated they are only on the weekend.

Bonnie Slager questioned if the CUP will be with the applicant or the site, staff noted that the CUP is for the site, and is concerned that the applicant will not be there forever, and has some concerns with hunting as a permitted use.

Tim Shamber explained that the access to Filly Lane was just a mistake.

Chair Jaffarian CLOSED the public hearing, bringing the discussion back to the Commission.

Member Leonard questioned about the process in renting out city buildings or the legion, and alcohol is being served the city requires security on site, but does not see anything in regards to the alcohol use on site, Director King noted the commission can add something if they want to.

Vice Chair Hedges is hesitant about granting a CUP for something when the rules were not followed and what is going to happen in the future to make sure they are flowing the rules for traffic and times of use.

Member Leonard is concerned with no conditions for hours of use, the traffic in the residential area, concerned with a restaurant on site, and the quantity of restrooms and sewer connection issues.

Member Azevedo noted that by law he will have to meet those requirements in regards to the restrooms.

Member Rigler stated he has been to the site for an event, is concerned with the fact that the applicant went and built the buildings without permit even though he was told he could not, is concerned with access for emergency vehicles and a road maintenance agreement between all the residents that share the road, stated he would like to see something signed between all residents and recorded. Is also concerned with food service and what happens when the site is sold.

Member Azevedo noted that even in Temecula the venues had to be shut down at 10pm.

Chair Jaffarian explained that condition number 63 says "it shall not continue after 10pm any day" if the commission wanted to add a start time to that condition we can, he noted there needs to be some concessions in regards to the road to the site that is shared, and explained the permitted uses for this site, Chair Jaffarian noted that if he owned the site he would subdivide it and build homes, then went in to detail in regards to the road

Member Leonard noted there is a moratorium with sub diving lots, Director King noted there is no moratorium on sub diving lots. Member Leonard noted if you do it for one you will have to do it for others.

Attorney Harper stated that it's a permitted use subject to a CUP approval, and noted the site is 26 acres is different from 2 acres as the conditions will never be the same to both sites.

Member Azevedo asked if a condition be added that if approved, the CUP won't be issued until the faculties are permitted and to code before the applicant is issued the use, Attorney Harper noted as a legal matter that the CUP is not affective until the applicant has complied.

Chair Jaffarian noted that the site be evaluated for emergency services, and Member Rigler noted he would like to see an agreement recorded, Attorney Harper noted that there is a condition that notes there has to be an agreement for the allowed use, Member Rigler asked if the agreement would stay with the site and not the owner, Attorney Harper noted it will stay with the site.

M/S JAFFARIAN/AZEVEDO to adopt Resolution 2019-32 to approve Conditional Use Permit 2019-03 to allow a private park entertainment facility on 26 acres in multiple buildings with modifications that a mutual agreement with residents of the shared road in regards to the maintenance of that road, and no events can start before 11am on any day and all events conclude by 10pm on any day; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, AZEVEDO
NOES: HEDGES, LEONARD, RIGLER
ABSENT: NONE
ABSTAIN: NONE

M/S JAFFARIAN/AZEVEDO to adopt Resolution 2019-33 to approve Conditional Use Permit 2019-08 to allow a caretaker unit on site; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, AZEVEDO
NOES: HEDGES, LEONARD, RIGLER
ABSENT: NONE
ABSTAIN: NONE

4. BUSINESS ITEMS:

- A. **Site Plan 2019-16 (Provencio):** A request for approval of an Accessory Building Use Permit to allow a 720 square-foot large vehicle parking building at 1611 Corona Avenue, located within the A-1-40 (Agricultural Low Density) Zone. **Recommended action: CONTINUE ITEM TO NEXT PLANNING COMMISSION MEETING OF JANUARY 22, 2020.**

M/S HEDGES/LEONARD to continue Site Plan 2019-16 to the next planning commission meeting; the motion was carried by the following roll call vote:

AYES: JAFFARIAN, HEDGES, AZEVEDO, LEONARD, RIGLER

NOES: NONE

ABSENT: NONE

ABSTAIN: NONE

5. **PLANNING COMMISSION / STAFF COMMUNICATIONS:**

A. Oral Reports from Various Committees:

- NONE

B. Request for Items on Future Agenda (within the purview of the Commission)

- Staff requested the next regular meeting be moved to January 22, 2020

ADJOURNMENT: Chair Jaffarian adjourned the meeting at **8:29 p.m.**

Respectfully submitted,

Lacey David
Minutes Clerk
Planning Commission

CITY OF NORCO STAFF REPORT

TO: Honorable Chair and Members of the Planning Commission

FROM: Alma Robles, Senior Planner

DATE: January 22, 2020 (Continued from December 11, 2019)

SUBJECT: **Site Plan 2019-16 (Provencio):** A request for approval of an Accessory Building Use Permit to allow a 720 square-foot large vehicle parking building at 1611 Corona Avenue, located within the A-1-40 (Agricultural Low Density) Zone.

RECOMMENDATION: Determine if approval of Site Plan 2019-16 is warranted.

SUMMARY: The accessory building being proposed is a large vehicle parking building/RV Cover. The building has been analyzed in accordance to the criteria for "Large Vehicle Parking Building" under Chapter 18.68 – "Accessory Building Use Permit".

PROPERTY DESCRIPTION: The project site is an irregular shaped parcel consisting of 1.83 acres/79,714 square feet, having a frontage on the east side of Corona Avenue of 112 feet, and a maximum depth of 712 feet (ref. Exhibit "A" – Location Map and Exhibit "B" – APN Map).

The property is developed with a 1,942 square-foot, single-story home, a detached 1,440 square-foot garage, and a 3,357 square-foot mare motel (ref. Exhibit "C" – Aerial and Site Photos). The property is very deep and access to the rear of the property is via a 17-foot wide gravel driveway that locate on the south side of the property that extends all the way to the rear.

The entire site is flat (an average grade of 4% or less), with the grade slightly higher at the rear of the property causing the property to drain towards the front.

The site is adjacent to a Riverside County Flood Control channel on the north side, and is adjacent to property in the A-1 zone developed with residential homes on all other sides.

PROJECT DESCRIPTION: As noted, the accessory building being proposed is for a 720 square-foot large vehicle parking building/RV cover (ref. Exhibit "D" – Application, Exhibit "E" – Site Plan, and Exhibit "F" – Building Elevations).

The building is proposed of metal construction, with a pitched roof, roof eaves and colors to match the existing house. A wall height of 12 feet and a 3:12 pitched roof is proposed, which brings the overall height of the building to 14' 3" as measured up to the peak.

The building is proposed at the very rear of the property over 500 feet behind the existing home, 15 feet away from the rear property line, and 20 and over 40 feet from the side property lines. The existing gravel driveway will lead into the proposed building.

ANALYSIS: Residential accessory buildings that exceed 240 square feet require approval of an Accessory Building Use Permit by the Planning Commission. There are three categories of residential accessory buildings: 1) Large Vehicle Parking Building, 2) Animal-Keeping Shelters for Large Animals, and 3) All Other Accessory Buildings.

The proposed building was analyzed under the category of "Large Vehicle Parking Buildings" which is discussed below:

ACCESSORY BUILDING ANALYSIS: NORCO MUNICIPAL CODE. LAND USE AND DEVELOPMENT STANDARDS FOR LARGE VEHICLE PARKING BUILDING- MANDATORY REQUIREMENTS		DOES THE PROJECT MEET THESE STANDARDS?
Land Use:	A large vehicle parking building is a permitted ancillary use in the A-1 Zone	YES
Maximum height:	16 feet at roof eave with the same or lesser roof pitch as the primary dwelling. The maximum allowed height at the peak shall be 18 feet. <i>(Building height for an accessory building is the vertical distance measured from finished floor to the highest point of the roof measured from the front (primary entry whether for vehicle or person) of the building.)</i>	YES The wall height (where the wall post meets the roof) is proposed at 12 feet and the overall height of the building is proposed at 14'3" measured the peak. The 3:12 roof pitch does not exceed the roof pitch of the existing house.
Maximum allowed size:	Maximum allowed size: 1,000 square feet	YES (the building is 720 square feet)
Maximum allowed lot coverage:	Cannot exceed the maximum allowed lot coverage for all buildings that require a building permit, including all accessory buildings, based on the underlying zone of the property in question. In the A-1 zone, the maximum lot coverage for all permanent structures shall not be more than 40% of the total flat pad.	YES (10% coverage is being proposed)
Setbacks:	All portions of a proposed accessory building must meet the graduated setback requirement based on the height of any portion of the building per Exhibit 18.68.20-1 of Chapter 18.68. Accessory buildings on lots that have a recorded primary animal-keeping area (PAKA) are not subject to this setback requirement.	YES There is no PAKA on the property so the graduated setback applies. A minimum 11 foot setback is required from the wall and a minimum 14.38 foot setback is required to the

		peak of the structure. The building either meets or exceeds the minimum setback requirements on all sides.
Washroom	The maximum allowed size for a washroom/restroom is 50 square feet consisting only of a one basin sink and toilet.	N/A (not proposed)
Wall articulation	Any side of a building that exceeds 20 feet in length shall be required to include doors and/or windows for articulation.	YES (ref. Exhibit "F" for the building elevations)
Interior walls	No interior wall separations are allowed with the exception of the washroom/restroom.	YES (ref. Exhibit "F" for the building elevation rendering that shows no interior walls)
Exterior Design and materials	Exterior wall finishes shall include materials, style, and colors of the primary dwelling (e.g., brick, siding, stucco, etc.); or can consist of materials, features, and colors typical of a barn vernacular, for approval by the Architectural Review Subcommittee (ARC) pursuant to the requirements of Chapter 18.41 (Architectural Review) prior to proceeding to the Planning Commission for its review.	TO BE DETERMINED BY THE PLANNING COMMISSION The Architectural Review Board reviewed the project and had no concerns or recommendations for changes.
Open animal keeping area buffer	A five-foot buffer shall be maintained around the required open animal area where the open animal area is adjacent to a property line or an existing or proposed structure	YES (ref. Exhibit "E" for the site plan)
Septic/Sewer	For any RV dump, interior floor drainage, and/or restroom proposed within an accessory building on a property that is on a septic system, the applicant shall provide a septic system analysis by a septic system engineer that the existing system can accommodate the proposed additional capacity. If the existing system cannot support the additional capacity then the proposed building cannot include an RV dump, interior floor drainage, or restroom without prior connection (including fees) to the City sewer system.	N/A

ACCESSORY BUILDING ANALYSIS: APPLICATION INFORMATION AND OTHER DISCRETIONARY REVIEW.		WHAT IS THE IMPACT?
Grading:	How many cubic yards of soil will need to be moved in the preparation of a pad site?	LESS THAN SIGNIFICANT Minimal (less than 60 cubic yards) soil will be moved since the buildings will be placed on relatively flat land. Moving 60 cubic yards or

		more will require a grading permit.
Drainage:	What is the existing drainage pattern and how will the building impact that flow.	LESS THAN SIGNIFICANT With the new building, the drainage will emulate existing drainage pattern.
Animal Keeping Area:	<ol style="list-style-type: none"> 1. Rectangular in shape, minimum 24 feet on any side. 2. Equal to 576 square feet per animal unit allowed (21 animal units allowed) 	TO BE DETERMINED BY THE PLANNING COMMISSION A minimum of 12,096 square feet is required and more that is provided at the rear of the property (over 100 feet before the location of the proposed building) where noted on the attached site plan. Access to the subject building does not have to cross the designated open animal keeping area. In addition to the required area, the required five-foot setback to property lines and a structure is also being provided. The Planning Commission can use this information to determine if the proposed building will impact the animal keeping potential of the lot
View:	Does the location for size of the proposed building negatively impact the view of adjoining properties?	TO BE DETERMINED BY THE PLANNING COMMISSION The Planning Commission will have to determine if the proposed building will negatively impact the view of adjoining properties (ref Exhibit "G" View Analysis).

PROJECT REVIEWS:

Architectural Review Sub-Committee (ARC): The ARC had no concerns over the architecture provided the paint color was compatible with the house.

RESOLUTION 2020-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO GRANTING WITH CONDITIONS, AN ACCESSORY BUILDING USE PERMIT TO ALLOW A 720 SQUARE-FOOT LARGE VEHICLE PARKING BUILDING AT 1611 CORONA AVENUE LOCATED WITHIN THE A-1-40 (AGRICULTURAL LOW DENSITY) ZONE. SITE PLAN 2019-16.

WHEREAS, KEN PROVENCIO submitted an application for an Accessory Building Use Permit to the City of Norco, California under the provisions of Chapter 18.68, Title 18 of the Norco Municipal Code, on property located at 1611 Corona Avenue (APN125-250-005).

WHEREAS, said item was noticed for the Planning Commission meeting of December 11, 2019, but continued to the meeting of January 22, 2020; and

WHEREAS, at the time set; at 7 p.m. on January 22, 2020 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid application and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested accessory building use permit is consistent with the General Plan and zoning requirements of the zone in which the property in question is located including the protection of adequate open animal areas on lots where the keeping of large animals is permitted.

B. The requested accessory building use permit will not have an adverse effect on the public convenience or general welfare of persons residing or working in the neighborhood thereof and will not adversely affect adjoining land uses including runoff and drainage impacts and architectural compatibility.

C. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Class 32 – In-fill Development Projects of the Californian Environment Quality Act (CEQA).

II. DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled January 22, 2020 that the application for Accessory Building Use Permit application is approved, subject to the conditions provided in Chapter 18.68 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based Exhibit "E" – Site Plan dated received December 4, 2019, and Exhibit "F" – Building Elevations dated received December 6, 2019 and incorporated herein by reference and on file with the Planning Department. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Department for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit. All mandatory requirements of the NMC are applicable as they pertain to accessory buildings.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Department for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of the building shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. This is not an approval to begin work/construction. No work/construction shall commence until the applicant has obtained building permits and has paid all applicable fees for the subject building.

7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. The building shall complement the existing house in color.
9. A home occupation business shall not be permitted from the subject building.
10. Any restrictions or conditions required by the approving body or other approving body on appeal in the granting of an accessory building use permit under the provisions of Chapter 18.68 must be complied with. If such conditions or requirements are not met, the Planning Commission shall hold a hearing in the manner as set forth in Chapter 18.46 (Revocation and Expiration of Permits and Variances).
11. Building permits for this accessory building are issued within the confines of this approval. Any violation of a condition resulting in a revocation of this approval may result in an order to remove the accessory building at the owner's expense.
12. A copy of the approved site plan, together with the conditions, if any required by the approving body, shall be recorded with the Riverside County Recorder's Office prior to the issuance of a building permit.
13. Prior to the issuance of a building permit the applicant shall provide a grading and drainage impact analysis, signed and stamped by a certified engineer, for approval by the Engineering Division.

##

Resolution 2020-01
Page 4
January 22, 2020

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on January 22, 2020.

Philip Jaffarian, Chair
Planning Commission
City of Norco, California

ATTEST:

Steve King, Secretary
Planning Commission
City of Norco, California

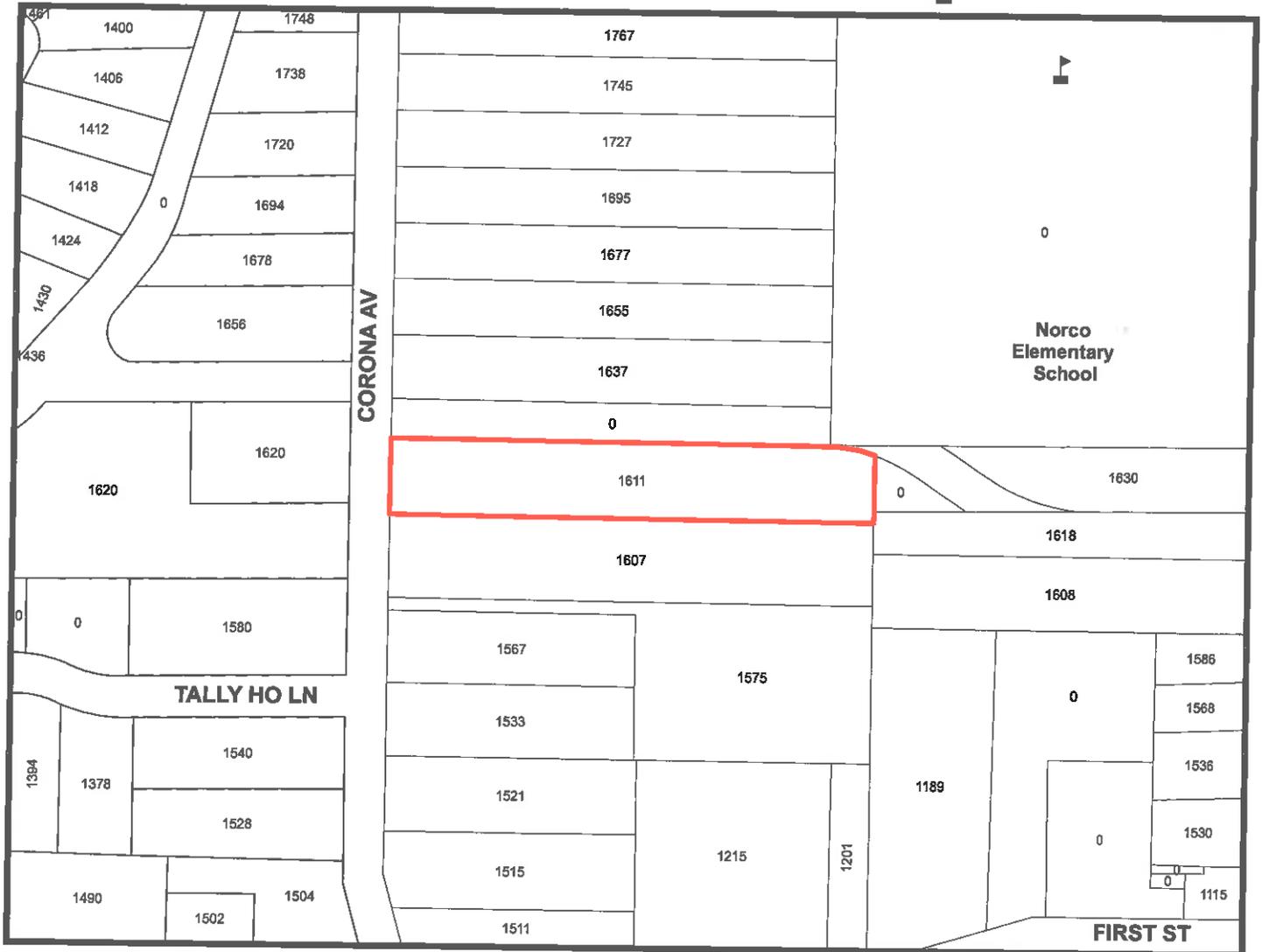
I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular meeting thereof held January 22, 2020 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Steve King, Secretary
Planning Commission
City of Norco, California

/adr

Location Map



Not to Scale



PROJECT: Site Plan 2019-16

APPLICANT: Ken Provencio

LOCATION: 1611 Corona Ave

Exhibit "A"

APN MAP

POR. SEC. 18, T. 3 S. R. 6 W.
(POR. RO. LA SIERRA, POR. CITY OF NORCO)

T.R.A. 015-007 125-25

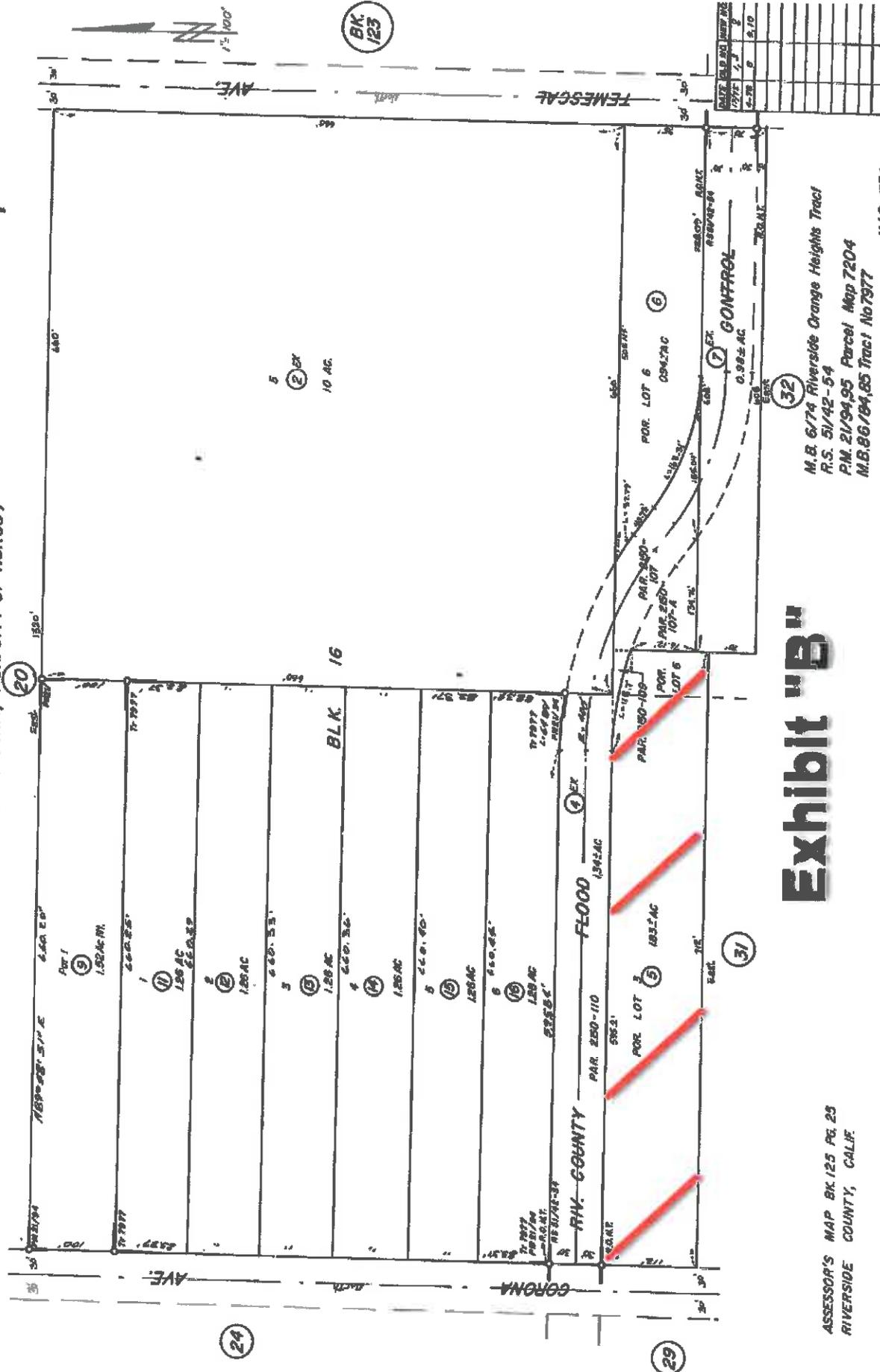


Exhibit "B"

M.B. 6/74 Riverside Orange Heights Tract
R.S. 5/1/42-54
P.M. 2/1/94, 95 Parcel Map 7204
M.B. 86/94, 95 Tract No 7977

ASSESSOR'S MAP BK. 125 PG. 23
RIVERSIDE COUNTY, CALIF.

DATE PREPARED BY
1/27/95 J.J. 2
S-28 0 5.10

1" = 100'

BK. 125

24

29

31

32

20

AERIAL PHOTO

Legend

-  1611 Corona Ave
-  Shadow Glen Ranch



EXHIBIT "C"
1 of 2



Exhibit "C"

2 of 2

Site Plan 2019-16



CITY OF NORCO

UNIFORM APPLICATION

File No.: 2019-116
 Related Files: _____
 Date Filed: 10-9-19
 Fees Paid: 3295

GENERAL INFORMATION:

Project Location: <u>11611 CORONA AVE, NORCO, CA 92860</u>	
Property Owner: <u>KEN PROVENCIO</u>	Applicant: <u>KEN PROVENCIO</u>
Address: <u>11611 CORONA AV NORCO, CA 92860</u>	Address: _____
Telephone: _____	Telephone: _____
Fax: _____ Email: _____	Fax: _____ Email: _____
Engineer: <u>ASC ENGINEERS ASSOCIATES</u>	Architect: <u>UNITED CAR PORTS INC</u>
Address: <u>1868 N MAPLE AV CLOVIS CA 93011</u>	Address: <u>7280 SUCAMORIS CYN BLD RIVERSIDE CA 92508</u>
Telephone: <u>559-765-0584</u>	Telephone: <u>800-757-6742</u>
Fax: <u>765 0588</u> Email: _____	Fax: _____ Email: _____
General Plan: <u>R-A</u>	Site Acreage: <u>79,714.80</u>
Zoning: <u>A-1-20</u>	Assessor's Parcel Number: <u>125250005-0</u>
Description of Proposal: <u>RV COVER 720#</u>	

REQUESTED REVIEW:

<input type="checkbox"/> Conditional Use Permit (includes major, minor, and modifications)	<input type="checkbox"/> Tentative Parcel Map
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Tentative Tract Map
<input checked="" type="checkbox"/> Site Plan Review (includes major, minor, modifications, development phasing plan, model homes sales complex, wall and fence plan review, and accessory building use permit)	<input type="checkbox"/> Variance (includes major and minor)
<input type="checkbox"/> Specific Plan Preparation/Amendment	<input type="checkbox"/> Zone Change
	<input type="checkbox"/> Other

APPLICATION CERTIFICATION:

I hereby certify that as applicant for this proposal, I have familiarized myself with the relevant provisions of the Norco Municipal Code; and I have read the foregoing application and know the contents of the application to be true to the best of my knowledge (if applicant is not same as property owner, owner shall authorize applicant to represent his/her interest in the above referenced application by signing below).

Owner: _____	Applicant: <u>Same</u>
Date: <u>10-9-19</u>	Date: <u>Same</u>

EXHIBIT "D"

DISCRETIONARY PROJECT REVIEW (ADDITIONAL INFORMATION)

Please note that the approval of an accessory building is at the discretion of the Planning Commission and is not the automatic right of the applicant. A proposed accessory building to park large recreational or agricultural vehicles needs to minimally meet the non-discretionary requirements listed above before it can be considered for approval by the Planning Commission. To assist the Planning Commission in its discretionary review the applicant needs to provide the attached additional information. Please refer to the requirements above when answering the attached questions as needed (answer all non-shaded questions).

INSPECTIONS (ADDITIONAL INFORMATION)

Please note that in addition to required building permit and grading permit inspections all buildings approved with an Accessory Building Use Permit shall be subject to immediate inspection by City Officials upon a 24-hour notice to the resident to ensure that no unauthorized use is occurring pursuant to the approved permit.

RECORDATION (ADDITIONAL INFORMATION)

Please note that the approved site plan, together with the conditions, if any required by the approving body, shall be recorded with the Riverside County Recorder's Office prior to the issuance of a building permit.

1. Property size: What is the square-footage of the property in question? 19,714.80
(Correct and scaled dimensions of the property need to be shown on the site plan)
2. Lot coverage: What is the proposed building coverage as a percentage of the flat pad portion of the lot in question for all existing and proposed buildings (including pools and a five-foot coping area around the pools)? 0.951%
(All existing and proposed buildings, including pools and coping areas, need to be correctly located and scaled correctly on the site plan)
(The flat pad of the lot is a total of all portions of the lot that are at 4% grade or less)

OFFICE USE: Does the proposed building meet lot coverage allowances?

YES NO

3. Building use: What are the proposed uses of the building?
RV COVER

4. Building size: What is the square footage of the proposed building? 720 sqft.

OFFICE USE: Does the proposed building meet the size limitation for the proposed use?

YES NO

5. Building height: What is the proposed building height at roof eave? 12'
What is the proposed building height at the highest point? 14' 3"

OFFICE USE: Does the proposed building height meet the height limitation for the proposed use?

YES NO

6. Building setbacks: What are the proposed building setbacks of the proposed structure to property lines and nearest buildings? PROPERTY LINES - SETBACKS -
SPE ATTACHED SITE PLAN NO BUILDINGS

(All proposed building setbacks to property lines and nearest existing buildings, including pools and coping areas, need to be correctly labeled and scaled on the site plan)

OFFICE USE: Does the proposed building meet setback and building separation requirements?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
---	---	-----------------------------

7. Building floor plan:

- Is a restroom or washroom proposed? YES NO
- Are any interior wall separations proposed? YES NO

OFFICE USE: Is the proposed building designed in accordance with the type of building requested?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
--	---	-----------------------------

8. Grading: How many cubic yards of soil will need to be moved in the preparation of a pad site for the construction of the proposed building? NONE

- Is the area of the subject site where the building is proposed flat (4% grade or less)? YES NO
- If not, will the building pad require cutting into an existing slope, or? YES NO
- Will fill material be needed to create the building pad? YES NO

What is the differential between the finished building pad and the site elevation measured two feet from the building on all sides? NONE - STRUCTURE ON DIRT - NO PAD

Will the location of the building or the required grading affect existing drainage and run-off patterns with the potential to create drainage impacts to neighboring properties? YES NO

If yes, what on-site retaining features are being proposed so as not to increase amount, or rate of flow, of run-off to adjoining properties from existing conditions (prior to the proposed building)?

If no, explain why there would be no impact.

NO AFFECT - ON SWALE

NO FOUNDATION OR SLAB

(All proposed grading including any proposed cut and fill material needs to be shown on the site plan including the areas where cut or fill will occur. The site plan needs to show existing drainage patterns prior

to the building and if those patterns will change after the building is constructed. If those patterns will change, the proposed drainage pattern post construction also needs to be shown on the site plan including any on-site retaining facilities that the City determines is needed. The applicant may be required to provide a cubic-feet-per-second (CFS) change analysis to determine if on-site retaining will be needed).

OFFICE USE: Does the proposed building and related grading avoid creating potential run-off and drainage impacts to adjoining properties?

YES NO

9. Drainage and run-off: What is the existing drainage pattern on-site prior to construction of the proposed accessory building (show on site plan)?

During a storm event or irrigation run-off does your property currently take run-off from neighboring properties?

YES NO

If so, indicate where and from what properties on the site plan.
If not, indicate on the site plan where run-off from neighboring properties drains to.

Is your property located in a 100-year or 500-year flood zone as shown on the Flood Insurance Rate Maps (FIRM) by the Federal Emergency Management Agency (FEMA)? (Maps located at City Hall)

YES NO

If so, indicate which zone, and location of the zone on the site plan, and indicate what mitigation measures will be needed to address the impact of being in that zone.

Zone "X" No mitigation needed

How will the existing drainage flow and run-off patterns be changed after construction of the accessory building (show on site plan)?

Will the increased run-off from the proposed building discharge onto adjacent properties? NONE
NO

OFFICE USE: Does the proposed building and site design protect adjacent properties from a significant increase in run-off and/or significant changes to existing drainage?

YES NO

10. Animal-keeping area: Does the location of the structure preserve adequate open animal area on the property (as defined in the zoning requirements)? YES

Is there an open animal area equal to 576 square feet X allowed number of animal units? YES NO
YES NO

- Is there a 5-foot buffer between the open animal area and property lines and buildings? YES NO
- Does vehicular access to the accessory building have to cross the open animal area? YES NO

OFFICE USE: Does the proposed building preserve an adequate open animal area including any required buffer areas? YES NO

11. Architecture: Does the design of the building incorporate the materials, style, and colors of the primary residence; or do the materials, features, and colors establish a barn vernacular? YES NO

If yes, what are the exterior wall finishes of the primary dwelling that have been incorporated into the design of the building; or what are the design features of a barn vernacular that have been incorporated?
COLOR

If yes, what is/are the colors of the primary dwelling and what will the color of the proposed building be?
TAN

OFFICE USE: Is the design of the proposed building compatible in design with the primary dwelling?
To Be Determined By The Planning Commission YES NO

12. View: Does the location or size of the proposed building negatively impact the view of adjoining properties? YES NO

If yes, what views will be impacted? _____

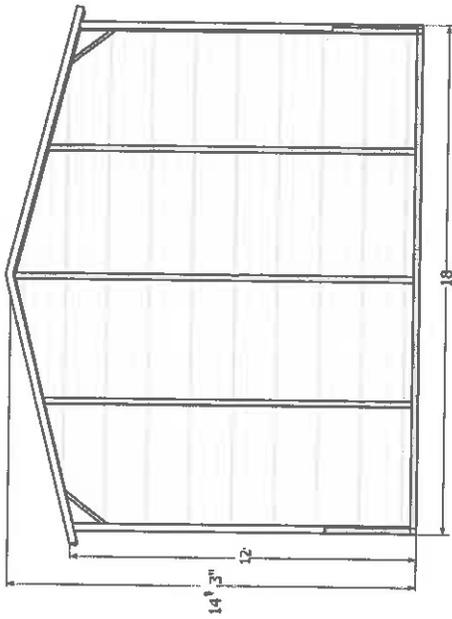


ELEVATIONS

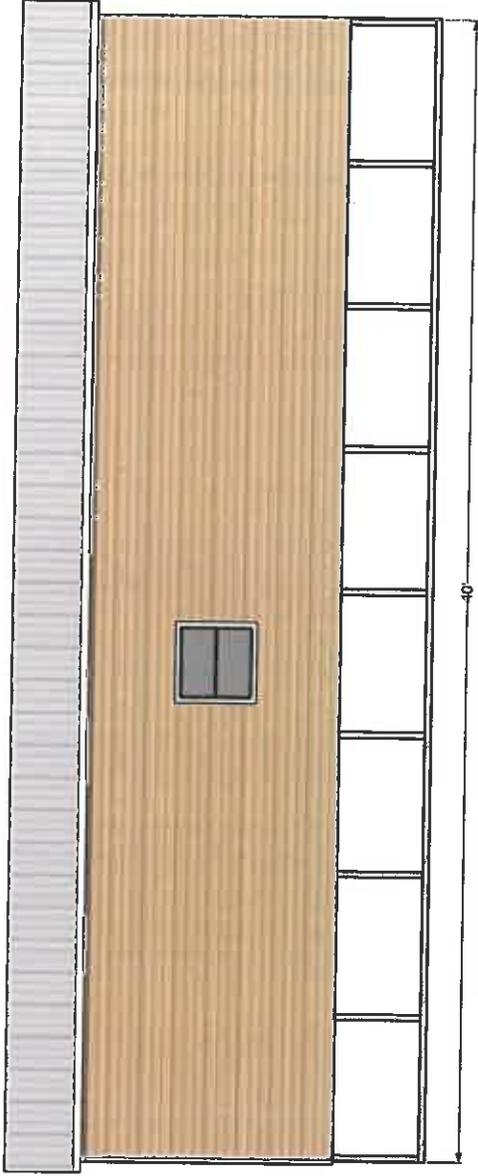
Ken Provencio
1611 Corona Ave
Norco, CA 92860

MATERIALS

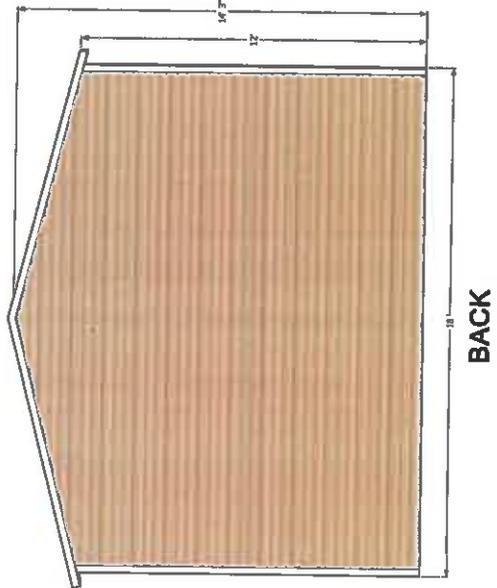
- 2"x3" (A500) 14 Gauge Galvanized Tube
- 29 Gauge Painted Galvalume Panel
- 3/4" Tek Screws - Zinc Coated
- 1/2"x7" Strong Bolts



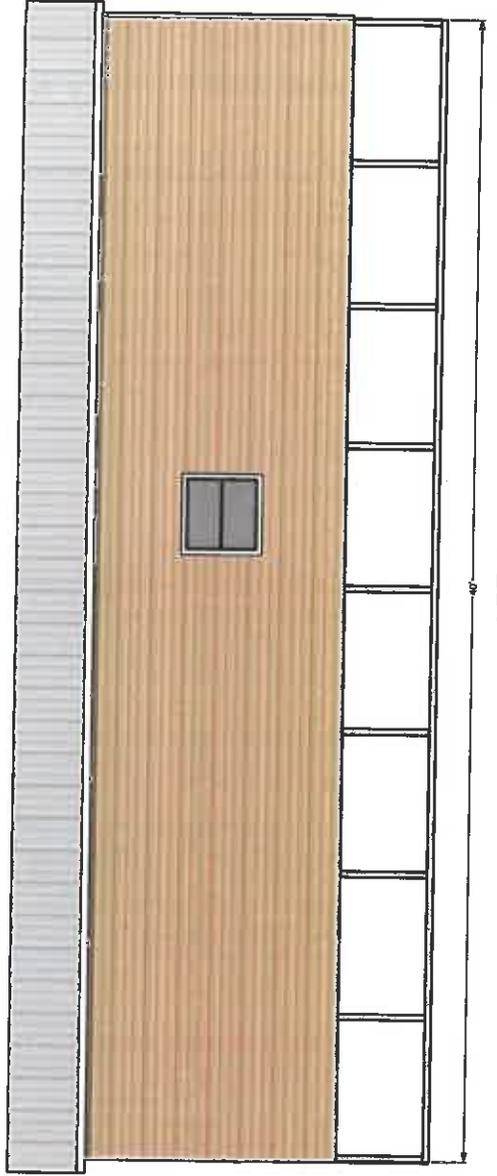
FRONT



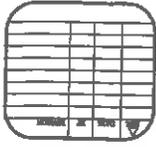
RIGHT



BACK



LEFT



UNITED CARPORTS LLC
7280 SYCAMORE CANYON BLVD
RIVERSIDE, CA 92508

Ken Provencio
1611 Corona Ave
Norco, CA 92860

BY	DATE	A1
DATE	12/16/19	
PAGE 1 OF 2		

EXHIBIT "F"

RECEIVED ON 12/16/19



View Analysis

approx. location of building

1611 Corona Ave

Google Earth

EXHIBIT "G"

CITY OF NORCO STAFF REPORT

TO: Honorable Chair and Members of the Planning Commission

FROM: Alma Robles, Senior Planner

DATE: January 22, 2020

SUBJECT: **Site Plan 2019-12 (Dean):** A request for approval of an Accessory Building Use Permit to allow a 900 square-foot large vehicle parking building at 2840 Walking Horse Ranch Drive, located within the A-1-20 (Agricultural Low Density) Zone.

RECOMMENDATION: Determine if approval of Site Plan 2019-12 is warranted.

SUMMARY: The accessory building being proposed is a large vehicle parking building/garage. The building has been analyzed in accordance to the criteria for "Large Vehicle Parking Building" under Chapter 18.68 – "Accessory Building Use Permit".

PROPERTY DESCRIPTION: The project site is an irregular shaped parcel consisting of about .58 acres/25,264 square feet, having a frontage on the west side of Walking Horse Ranch Drive of 116.09 feet, and a maximum depth of 246.28 feet (ref. Exhibit "A" – Location Map and Exhibit "B" – APN Map).

The property is developed with a 3,084 square-foot, single-story home with an attached 636 square-foot garage, and a 271 square-foot front porch (ref. Exhibit "C" – Aerial and Site Photos). The rear of the property can be accessed from both sides of the existing house.

Most of the site is flat (an average grade of 4% or less) except for the driveway, a small portion at the rear of the property and along the length of the south property line. The grade of the property is slightly higher at the rear causing the property to drain towards the street.

PROJECT DESCRIPTION: As noted, the accessory building being proposed is for a 900 square-foot large vehicle parking building for storage of recreational vehicles (ref. Exhibit "D" – Application, Exhibit "E" – Site Plan, and Exhibit "F" – Building Elevations and Floor Plan).

The building is proposed to be wood frame construction, with a pitched roof, roof eaves and a stucco finish and tile roof to match the existing house. A wall height of 9 feet 6 inches and a 4:12 pitched roof is proposed. The overall height of the building is 15 feet 6 inches as measured from the finished grade to the peak.

The building is proposed at the rear southwest corner of the property 66.42 feet behind the existing home, 17 feet away from the rear property line, and 8 and 70 feet from the side property lines. Access to the building is proposed from the south side of the existing house.

ANALYSIS: Residential accessory buildings that exceed 240 square feet require approval of an Accessory Building Use Permit by the Planning Commission. There are three categories of residential accessory buildings: 1) Large Vehicle Parking Building, 2) Animal-Keeping Shelters for Large Animals, and 3) All Other Accessory Buildings.

The proposed building was analyzed under the category of "Large Vehicle Parking Buildings" which is discussed below:

ACCESSORY BUILDING ANALYSIS: NORCO MUNICIPAL CODE. LAND USE AND DEVELOPMENT STANDARDS FOR LARGE VEHICLE PARKING BUILDING- MANDATORY REQUIREMENTS		DOES THE PROJECT MEET THESE STANDARDS?
Land Use:	A large vehicle parking building is a permitted ancillary use in the A-1 Zone	YES
Maximum height:	16 feet at roof eave with the same or lesser roof pitch as the primary dwelling. The maximum allowed height at the peak shall be 18 feet. <i>(Building height for an accessory building is the vertical distance measured from finished floor to the highest point of the roof measured from the front (primary entry whether for vehicle or person) of the building.)</i>	YES The wall height (where the wall post meets the roof) is proposed at 9 feet 6 inches and the overall height of the building is proposed at 15 feet 6 inches as measured the peak. The proposed 4:12 roof pitch does not exceed the roof pitch of the existing house.
Maximum allowed size:	Maximum allowed size: 1,000 square feet	YES (the building is proposed at 900 square feet)
Maximum allowed lot coverage:	Cannot exceed the maximum allowed lot coverage for all buildings that require a building permit, including all accessory buildings, based on the underlying zone of the property in question. In the A-1 zone, the maximum lot coverage for all permanent structures shall not be more than 40% of the total flat pad.	YES (22% coverage is being proposed)
Setbacks:	All portions of a proposed accessory building must meet the graduated setback requirement based on the height of any portion of the building per Exhibit 18.68.20-1 of Chapter 18.68. Accessory buildings on lots that have a recorded primary animal-keeping area (PAKA) are not subject to this setback requirement.	YES There is no PAKA on the property so the graduated setback applies. A minimum 8 foot setback is required from the wall and a minimum 16.25 foot setback is required to the peak of the structure. The building either meets or exceeds the minimum setback requirements on all

		sides.
Washroom	The maximum allowed size for a washroom/restroom is 50 square feet consisting only of a one basin sink and toilet.	N/A (not proposed)
Wall articulation	Any side of a building that exceeds 20 feet shall be required to include doors and/or windows for articulation.	YES (ref. Exhibit "F" for the building elevations)
Interior walls	No interior wall separations are allowed with the exception of the washroom/restroom.	YES (ref. Exhibit "F" for the floor plan)
Exterior Design and materials	Exterior wall finishes shall include materials, style, and colors of the primary dwelling (e.g., brick, siding, stucco, etc.); or can consist of materials, features, and colors typical of a barn vernacular, for approval by the Architectural Review Subcommittee (ARC) pursuant to the requirements of Chapter <u>18.41</u> (Architectural Review) prior to proceeding to the Planning Commission for its review.	TO BE DETERMINED BY THE PLANNING COMMISSION The Architectural Review Board reviewed the architecture and had no recommendations for changes.
Open animal keeping area buffer	A five-foot buffer shall be maintained around the required open animal area where the open animal area is adjacent to a property line or an existing or proposed structure	YES (ref. Exhibit "E" for the site plan)
Septic/Sewer	For any RV dump, interior floor drainage, and/or restroom proposed within an accessory building on a property that is on a septic system, the applicant shall provide a septic system analysis by a septic system engineer that the existing system can accommodate the proposed additional capacity. If the existing system cannot support the additional capacity then the proposed building cannot include an RV dump, interior floor drainage, or restroom without prior connection (including fees) to the City sewer system.	N/A

ACCESSORY BUILDING ANALYSIS: APPLICATION INFORMATION AND OTHER DISCRETIONARY REVIEW.		WHAT IS THE IMPACT?
Grading:	How many cubic yards of soil will need to be moved in the preparation of a pad site?	LESS THAN SIGNIFICANT Minimal (less than 60 cubic yards) soil will be moved since the buildings will be placed on relatively flat land. Moving 60 cubic yards or more will require a grading permit.
Drainage:	What is the existing drainage pattern and how will the building impact that flow.	LESS THAN SIGNIFICANT With the new building, the drainage will emulate

<p>Animal Keeping Area:</p>	<ol style="list-style-type: none"> 1. Rectangular in shape, minimum 24 feet on any side. 2. Equal to 576 square feet per animal unit allowed (six animal units allowed) 	<p>existing drainage pattern. TO BE DETERMINED BY THE PLANNING COMMISSION A minimum of 3,456 square feet is required and is provided behind the existing house and north of the proposed building (where noted on the attached site plan). Per the applicant, access to the building will be from the south side of the house away from the designated open animal keeping area. In addition to the required area, the required five-foot setback to property lines and a structure is also being provided. The Planning Commission can use this information to determine if the proposed building will impact the animal keeping potential of the lot.</p>
<p>View:</p>	<p>Does the location for size of the proposed building negatively impact the view of adjoining properties?</p>	<p>TO BE DETERMINED BY THE PLANNING COMMISSION The Planning Commission will have to determine if the proposed building will negatively impact the view of adjoining properties (ref Exhibit "G" View Analysis).</p>

PROJECT REVIEWS:

Architectural Review Sub-Committee (ARC): The ARC had no concerns over the architecture; however, one member was concerned that the animal keeping area would have to be driven over in order to access the building.

IMPACT ANALYSIS PER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

Staff has determined that this project can be except from CEQA review per Class 32 – In-fill Development Projects. There are categories of projects identified in CEQA (categorical exemptions) for which if a project meets the definition criteria it is exempt from CEQA review. One of those categories is "In-Fill Development." Most of the City's properties developed with residential uses meet the definition criteria of this category: 1) consistent with the General

RESOLUTION 2020-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NORCO GRANTING WITH CONDITIONS, AN ACCESSORY BUILDING USE PERMIT TO ALLOW A 900 SQUARE-FOOT LARGE VEHICLE PARKING BUILDING AT 2840 WALKING HORSE RANCH DRIVE LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW DENSITY) ZONE. SITE PLAN 2019-12.

WHEREAS, CHRISTOPHER FRANCIS ON BEHALF OF MICHAEL AND KATHERINE DEAN submitted an application for an Accessory Building Use Permit to the City of Norco, California under the provisions of Chapter 18.68, Title 18 of the Norco Municipal Code, on property located at 2840 Walking Horse Ranch Drive (APN123-491-009).

WHEREAS, at the time set; at 7 p.m. on January 22, 2020 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid application and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment.

NOW, THEREFORE, the Planning Commission of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested accessory building use permit is consistent with the General Plan and zoning requirements of the zone in which the property in question is located including the protection of adequate open animal areas on lots where the keeping of large animals is permitted.

B. The requested accessory building use permit will not have an adverse effect on the public convenience or general welfare of persons residing or working in the neighborhood thereof and will not adversely affect adjoining land uses including runoff and drainage impacts and architectural compatibility.

C. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Class 32 – In-fill Development Projects of the Californian Environment Quality Act (CEQA).

II. DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Norco, California, in session assembled January 22, 2020 that the application for Accessory Building Use Permit application is approved, subject to the conditions provided in Chapter 18.68 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based Exhibit "E" – Site Plan, and Exhibit "F" – Building Elevations and Floor Plan dated received January 16, 2020 and incorporated herein by reference and on file with the Planning Department. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Department for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit. All mandatory requirements of the NMC are applicable as they pertain to accessory buildings.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Department for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of the building shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.
6. This is not an approval to begin work/construction. No work/construction shall commence until the applicant has obtained building permits and has paid all applicable fees for the subject building.

7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. The building shall complement the existing house in color.
9. A home occupation business shall not be permitted from the subject building.
10. Any restrictions or conditions required by the approving body or other approving body on appeal in the granting of an accessory building use permit under the provisions of Chapter 18.68 must be complied with. If such conditions or requirements are not met, the Planning Commission shall hold a hearing in the manner as set forth in Chapter 18.46 (Revocation and Expiration of Permits and Variances).
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12. A copy of the approved site plan, together with the conditions, if any required by the approving body, shall be recorded with the Riverside County Recorder's Office prior to the issuance of a building permit.
13. Prior to the issuance of a building permit the applicant shall provide a grading and drainage impact analysis, signed and stamped by a certified engineer, for approval by the Engineering Division.

##

Resolution 2020-02
Page 4
January 22, 2020

PASSED AND ADOPTED by the Planning Commission at a regular meeting held on January 22, 2020.

Philip Jaffarian, Chair
Planning Commission
City of Norco, California

ATTEST:

Steve King, Secretary
Planning Commission
City of Norco, California

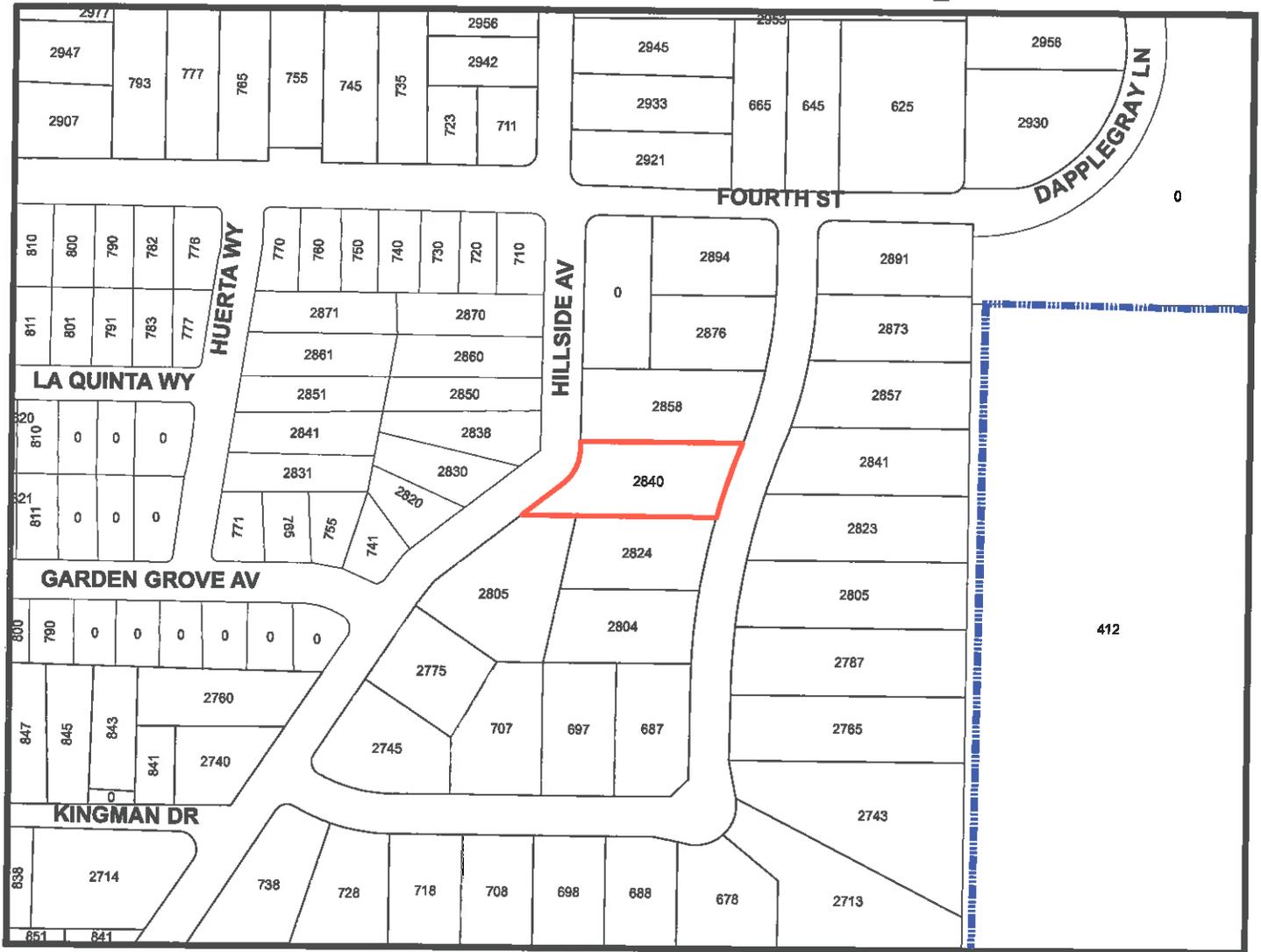
I HEREBY CERTIFY that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of Norco at a regular meeting thereof held January 22, 2020 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Steve King, Secretary
Planning Commission
City of Norco, California

/adr

Location Map



Not to Scale



PROJECT: Site Plan 2019-12

APPLICANT: Christopher Fransis

LOCATION: 2840 Walking Horse Ranch Drive

Exhibit "A"

APN MAP

1" = 100'
ANGLE = 0

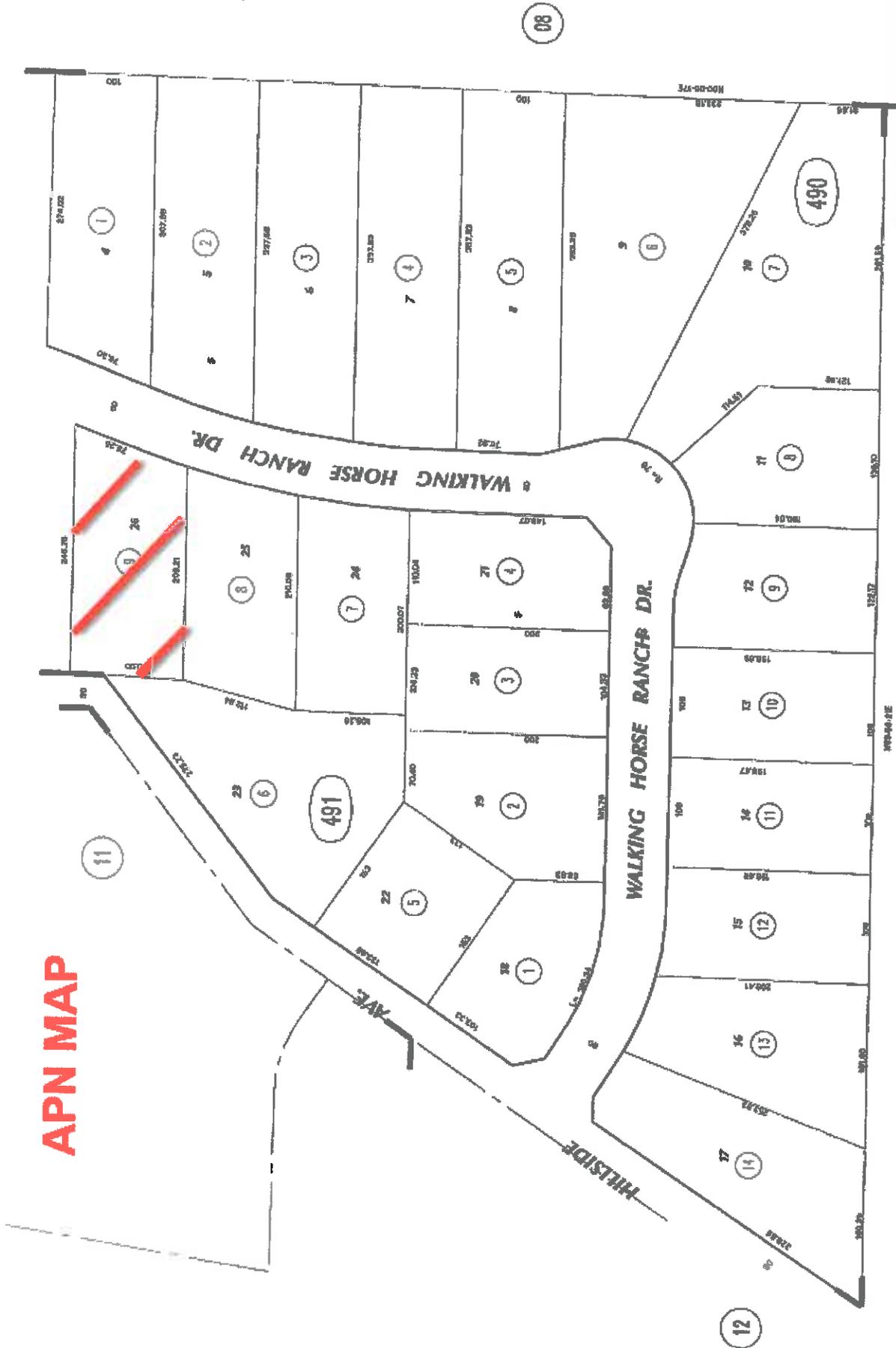


Exhibit "B"

LB 324/68-71 TRACT NO. 27560-2

ASSESSOR'S MAP BK123 PG. 45
Riverside County, Calif.

JMSJ

15

08

12

11

Aerial Photo

Site Plan 2019-12

Legend

📍 2840 Walking Horse Ranch Dr

2840 Walking Horse Ranch Dr

SP 2019-12
EXHIBIT "C"
1 OF 2

Google Earth



100 ft





Exhibit "C"
2 of 2
Site Plan 2019-12



CITY OF NORCO

UNIFORM APPLICATION

File No.: SP 2019-12
Related Files: NA
Date Filed: 6-27-19
Fees Paid: 6-27-19
\$7,308

GENERAL INFORMATION:

Project Location: <u>2840 WALKING HORSE RANCH DR</u> <u>NORCO, CA</u>	
Property Owner: <u>MR & MRS MICHAEL DEAN</u>	Applicant: <u>CHRISTOPHER FRANCIS</u>
Address: <u>2840 WALKING HORSE RANCH DR</u> <u>NORCO CA 92860</u>	Address: <u>SAME AS BELOW</u>
Telephone: <u>951 662-4795</u>	Telephone: <u>↓</u>
Fax: _____	Email: <u>KDEAN734@CHAX</u>
Engineer: <u>N.A.</u>	Architect: <u>CHRISTOPHER FRANCIS AIA</u>
Address: _____	Address: <u>37370 HARVEST DR</u> <u>MURRIETA, CA. 92563</u>
Telephone: _____	Telephone: <u>951-413-4284</u>
Fax: _____	Email: <u>CFRANCIS@CFARCHITECTURE-INC.COM</u>
General Plan: _____	Site Acreage: <u>.56</u>
Zoning: _____	Assessor's Parcel Number: <u>123-491-009-00</u>
Description of Proposal: <u>ADDITION OF NEW GARAGE (ACCESSORY BUILDING)</u> <u>TO A 25,264 SF SITE WITH EXISTING SFR.</u>	

REQUESTED REVIEW:

<input type="checkbox"/> Conditional Use Permit (includes major, minor, and modifications)	<input type="checkbox"/> Tentative Parcel Map
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Tentative Tract Map
<input checked="" type="checkbox"/> Site Plan Review (includes major, minor, modifications, development phasing plan, model homes sales complex, wall and fence plan review, and accessory building use permit)	<input type="checkbox"/> Variance (includes major and minor)
<input type="checkbox"/> Specific Plan Preparation/Amendment	<input type="checkbox"/> Zone Change
	<input type="checkbox"/> Other

APPLICATION CERTIFICATION:

I hereby certify that as applicant for this proposal, I have familiarized myself with the relevant provisions of the Norco Municipal Code; and I have read the foregoing application and know the contents of the application to be true to the best of my knowledge (if applicant is not same as property owner, owner shall authorize applicant to represent his/her interest in the above referenced application by signing below).

Owner: <u>[Signature]</u>	Applicant: <u>[Signature]</u>
Date: <u>6/14/19</u>	Date: <u>6-3-19</u>

EXHIBIT "D"

DISCRETIONARY PROJECT REVIEW (ADDITIONAL INFORMATION)

Please note that the approval of an accessory building is at the discretion of the Planning Commission and is not the automatic right of the applicant. Please refer to the requirements above when answering the attached questions as needed. A proposed accessory building not designed to park large vehicles or shelter large animals needs to minimally meet the non-discretionary requirements listed above before it can be considered for approval by the Planning Commission. To assist the Planning Commission in its discretionary review the applicant needs to provide the attached additional information (answer all questions not shaded).

INSPECTIONS (ADDITIONAL INFORMATION)

Please note that in addition to required building permit and grading permit inspections all buildings approved with an Accessory Building Use Permit shall be subject to immediate inspection by City Officials upon a 24-hour notice to the resident to ensure that no unauthorized use is occurring pursuant to the approved permit.

RECORDATION (ADDITIONAL INFORMATION)

Please note that the approved site plan, together with the conditions, if any required by the approving body, shall be recorded with the Riverside County Recorder's Office prior to the issuance of a building permit.

1. Property size: What is the square-footage of the property in question? 25,264
(Correct and scaled dimensions of the property need to be shown on the site plan)
2. Lot coverage: What is the proposed building coverage as a percentage of the flat pad portion of the lot in question for all existing and proposed buildings (including pools and a five-foot coping area around the pools)? 21.2%
(All existing and proposed buildings, including pools and coping areas, need to be correctly located and scaled correctly on the site plan)
(The flat pad of the lot is a total of all portions of the lot that are at 4% grade or less)

OFFICE USE: Does the proposed building meet lot coverage allowances?

YES NO

3. Building use: What are the proposed uses of the building?
6 STORAGE OF RECREATIONAL VEHICLES
4. Building size: What is the square footage of the proposed building? 900 S.F.

OFFICE USE: Does the proposed building meet the size limitation for the proposed use?

YES NO

5. Building height: What is the proposed building height at roof eave? 9'-6"
What is the proposed building height at the highest point? 15'-6"

OFFICE USE: Does the proposed building height meet the height limitation for the proposed use?

YES NO

6. Building setbacks: What are the proposed building setbacks of the proposed structure to property lines and nearest buildings? 17'-0" TO REAR, 8'-0" TO SIDE, 70'-0" TO SIDE, 66'-5" TO NEAREST BUILDING

(All proposed building setbacks to property lines and nearest existing buildings, including pools and coping areas, need to be correctly labeled and scaled on the site plan)

OFFICE USE: Does the proposed building meet setback and building separation requirements?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
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7. Building floor plan:

Is a restroom or washroom proposed? YES NO

Are any interior wall separations proposed? YES NO

OFFICE USE: Is the proposed building designed in accordance with the type of building requested?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
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8. Grading: How many cubic yards of soil will need to be moved in the preparation of a pad site for the construction of the proposed building? 35

Is the area of the subject site where the building is proposed flat (4% grade or less)? YES NO

If not, will the building pad require cutting into an existing slope, or? YES NO

Will fill material be needed to create the building pad? YES NO

What is the differential between the finished building pad and the site elevation measured two feet from the building on all sides? 2"

Will the location of the building or the required grading affect existing drainage and run-off patterns with the potential to create drainage impacts to neighboring properties? YES NO

If no, what on-site retaining features are being proposed so as not to increase amount, or rate of flow, of run-off to adjoining properties from existing conditions (prior to the proposed building)?

If no, explain why there would be no impact. DRAINAGE OF NEW BUILDING TO FOLLOW EXISTING SITE SWALES

(All proposed grading including any proposed cut and fill material needs to be shown on the site plan including the areas where cut or fill will occur. The site plan needs to show existing drainage patterns prior

to the building and if those patterns will change after the building is constructed. If those patterns will change, the proposed drainage pattern post construction also needs to be shown on the site plan including any on-site retaining facilities that the City determines is needed. The applicant may be required to provide a cubic-feet-per-second (CFS) change analysis to determine if on-site retaining will be needed).

OFFICE USE: Does the proposed building and related grading avoid creating potential run-off and drainage impacts to adjoining properties?

YES NO

9. Drainage and run-off: What is the existing drainage pattern on-site prior to construction of the proposed accessory building (show on site plan)?

During a storm event or irrigation run-off does your property currently take run-off from neighboring properties?

YES NO

If so, indicate where and from what properties on the site plan.
If not, indicate on the site plan where run-off from neighboring properties drains to.

Is your property located in a 100-year or 500-year flood zone as shown on the Flood Insurance Rate Maps (FIRM) by the Federal Emergency Management Agency (FEMA)? (Maps located at City Hall)

YES NO

If so, indicate which zone, and location of the zone on the site plan, and indicate what mitigation measures will be needed to address the impact of being in that zone.

How will the existing drainage flow and run-off patterns be changed after construction of the accessory building (show on site plan)? SEE SITE PLAN

What will be the change in flow rate of storm run-off from the proposed building? NEGLECTIBLE

OFFICE USE: Does the proposed building and site design protect adjacent properties from a significant increase in run-off and/or significant changes to existing drainage conditions?

YES NO

10. Animal-keeping area: Does the location of the structure preserve adequate open animal area on the property (as defined in the zoning requirements)?

Is there an open animal area equal to 576 square feet X allowed number of animal units?

YES NO

YES NO

Is there a 5-foot buffer between the open animal area and property lines and buildings? YES NO

Does vehicular access to the accessory building have to cross the open animal area? YES NO

OFFICE USE: Does the proposed building preserve an adequate open animal area including any required buffer areas? YES NO
To Be Determined By Planning Commission

11. Architecture: Does the design of the building incorporate the materials, style, and colors of the primary residence; or do the materials, features, and colors establish a barn vernacular? YES NO

If yes, what are the exterior wall finishes of the primary dwelling that have been incorporated into the design of the building; or what are the design features of a barn vernacular that have been incorporated?
MATCHING EXISTING LT. WT. CONCRETE TILE ROOFING & STUCCO WALLS

If yes, what is/are the colors of the primary dwelling and what will the color of the proposed building be?
NEW BUILDING TO MATCH EXISTING COLOR FACUETTO

OFFICE USE: Is the design of the proposed building compatible in design with the primary dwelling? YES NO
To Be Determined By The Planning Commission

12. View: Does the location or size of the proposed building negatively impact the view of adjoining properties? YES NO

If yes, what views will be impacted? _____

View Analysis



EXHIBIT "G"