



AGENDA  
CITY OF NORCO  
CITY COUNCIL

July 16, 2014

City Council Chambers  
2820 Clark Avenue, Norco, CA 92860



Berwin Hanna, Mayor  
Herb Higgins, Mayor Pro Tem  
Kathy Azevedo, Council Member  
Kevin Bash, Council Member  
Greg Newton, Council Member

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**CALL TO ORDER:** 6:00 p.m.

**ROLL CALL**

**§54956.9(c) – Conference with Legal Counsel – Anticipated Litigation:**

One Potential Case

**RECONVENE PUBLIC SESSION:** 7:00 p.m.

**REPORT OF ACTION(S) TAKEN IN CLOSED SESSION (§54957.1):** (City Attorney)

**PLEDGE OF ALLEGIANCE:** Council Member Azevedo

**INVOCATION:** Pastor Fred Griffin, Corona Church of the Open Doors

**PRESENTATIONS:** President Eric Post, *Rotary Club of Norco*

Norco Horseweek Donation to N.A.R.T.

**RECOGNITIONS:** Kelli Newton, *United States Dressage Federation Bronze Medal Recipient*

Sparky Panzer, *California's Veteran of the Year for District 60*

Harry Fish, Norco Resident

Bob Allen, Norco Resident

**CITY COUNCIL BUSINESS ITEMS AS FOLLOWS:**

1. **CITY COUNCIL COMMUNICATIONS / REPORTS ON REGIONAL BOARDS AND COMMISSIONS:**
  
2. **CITY COUNCIL CONSENT ITEMS:** *All items listed under the Consent Calendar are considered to be routine and may be enacted by one motion. Prior to the motion to consider any action by the Council, any public comments on any of the Consent Items will be heard. There will be no separate action unless members of the Council or the audience request specific items be removed from the Consent Calendar. Items removed from the Consent Calendar will be separately considered under Item No.3 of the Agenda.*
  - A. City Council Minutes:  
June 18, 2014 Regular Meeting  
**Recommended Action: Approve the City Council Minutes** (City Clerk)
  
  - B. Procedural Step to Approve Ordinance after Reading of Title Only.  
**Recommended Action: Approval** (City Clerk)
  
  - C. Recap of Actions Taken by the Planning Commission at its Meeting held on July 9, 2014. **Recommended Action: Receive and File** (Planning Director)
  
  - D. Quarterly Investment Report for Quarter Ended June 30, 2014.  
**Recommended Action: Receive and File** (Acting City Manager)
  
  - E. Amendment No. 1 to City Manager Employment Agreement. **Recommended Action: Approve Amendment No. 1 of the Employment Agreement between the City of Norco and Valentine Andy Okoro.** (City Attorney)
  
  - F. Amendment No. 1 to the Waste Management Agreement. **Recommended Action: Adopt Resolution No. 2014-43, approving Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the provisions of integrated waste management services.** (Director of Public Works)
  
  - G. Authorization for the Public Works Department to Purchase a Trailer Mounted Vacuum Excavator. **Recommended Action: Authorize the appropriation of \$34,678.18 to purchase a trailer mounted vacuum excavator.** (Director of Public Works)
  
3. **ITEM(S) PULLED FROM CITY COUNCIL CONSENT CALENDAR**

**4. LEGISLATIVE MATTERS:** (No new evidence will be heard from the public as the public hearing has been closed regarding the item listed.)

- A. Ordinance No. 976, Second Reading: Amending Chapter 18.57 of the Norco Municipal Code, "Wireless Telecommunication Facility Regulations," to Change the Height Requirement for Freestanding Antenna Poles. (Zone Code Amendment 2014-02). **Recommended Action: Adopt Ordinance No. 976.**

**5. CITY COUNCIL DISCUSSION / ACTION ITEM:**

- A. Discussion of the Letter from the Naval Weapons Station Seal Beach Detachment Norco to the State Historic Preservation Officer Regarding the National Register of Historic Places Eligibility Status of Properties at Detachment Norco. **Recommended Action: Receive and File.** (Acting City Manager; Cultural Resources Consultant)

**6. CITY COUNCIL PUBLIC HEARINGS:**

- A. Zone Code Amendment 2014-03, First Reading: City-Initiated Proposal to Amend Chapter 18.13 "A-1 Zone" of the Norco Municipal Code to Increase the Minimum Lot Size from 20,000 Square Feet to 21,780 Net Square Feet.

*Zone Code Amendment 2014-03 is an amendment directed by the City Council to adjust the minimum lot size requirement in the A-1-20 sub-zone from 20,000 square feet to 21,780 square feet net, a true half-acre. The Planning Commission reviewed the proposed Zone Code Amendment at its meeting on June 11, 2014 and adopted Resolution 2014-34 recommending approval to the City Council.*

**Recommended Action: Adopt Ordinance No. 977 for first reading.**  
(Planning Director)

- B. Public Hearing Ordering the Continuation of Landscape Maintenance Districts and Confirming a Diagram and Assessment and Providing for an Annual Assessment Levy for Districts No. 1 - Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28626; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk's Crest, Tract 30230.

*The "Landscaping and Lighting Act of 1972 requires that an Engineer's Report for existing landscape maintenance districts (LMDs) must be reviewed and approved annually to continue assessments for the districts. The formation of the five districts allow for an annual increase not to exceed the Consumer Price Index (CPI). The CPI ending April 30, 2014 adjustment per parcel assessment in all districts is 1.6%. This year's Engineer's Report includes the estimated fund balance for Fiscal Year ending June 30, 2014*

*and the cash flow funding needs. Each district requires a six month cash flow reserve to sustain the District from the beginning of the fiscal year (July 1) until the City receives from the County of Riverside its first assessment payment, six months later. If the City does not have this reserve, the general fund reserves must “carry” the District. In addition the “needs” includes those Districts that have trail fencing (Districts 2 thru 5) a line item establishing a dollar amount to reconstruct the majority of the trail fencing in each District. The “estimated unfunded needs” is the difference between the “fund balance” and the “needs”.*

**Recommended Actions: That the City Council open the Public Hearing and if no more than 50 percent of the property owners within the District protest, it would be appropriate to adopt Resolution No. 2014-44, (Beazer); Resolution No. 2014-45, (Western Pacific); Resolution No. 2014-46 (Centex); Resolution No. 2014-47, (Norco Ridge Ranch); Resolution No. 2014-48, (Hawk’s Crest), ordering the continuation of a Landscaping Maintenance District and confirming a Diagram and Assessment and providing for Annual Assessment Levy. (City Engineer)**

C. Public Hearing Confirming Costs for Spring Weed Abatement.

*The 2014 Spring Weed Abatement Report of Costs lists property owners whose vacant parcels were abated by the Fire Department’s weed abatement contractor for the 2014 Spring Weed Abatement Program. After Council adopts the Resolution, property owners will be invoiced for payment of the abatement.*

**Recommended Action: Adopt Resolution No. 2014-49, confirming the report of costs for abatement of weeds and hazardous vegetation as a public nuisance and imposing special assessment liens on vacant parcels within the City. (Battalion Chief)**

**7. CITY COUNCIL APPEAL HEARINGS:**

A. Appeal Hearing: Conditional Use Permit 2013-02, Modification No. 1 (Pandemic Fitness): Appeal Planning Commission’s Denial of a Request to Modify Approved Conditional Use Permit 2013-02 to Allow a Café, Additional Classes and Outdoor Training. (Planning Director)

*Conditional Use Permit 2013-02 was approved by the Planning Commission with conditions that require a modification to the CUP for any changes in the number of classes, class sizes, use of outdoor space, and the addition of a café that had been identified but not included in the original approval. Modification No. 1 is a request to add the café, additional classes and use of the existing truck bay for outdoor training. On June 11, 2014 the Planning*

*Commission denied Modification 1 to CUP 2013-02 on a 3-2 vote. The City Council appealed in order to hear the item.*

**Recommended Action: That the City Council hear the item and make a final determination.** (Planning Director)

- B. Appeal Hearing: Site Plan 2014-11 (Eaton): Appeal Planning Commission's Denial of a Request to Allow a Detached Accessory Building Consisting of a 704-Square Foot Patio and Storage Building at 3413 Dales Drive Located within the A-1-20 (Agricultural Low-Density) Zone.

*The subject property is located within the A-1-20 zone and consists of .52 acres and is developed with a single family residence. As proposed, the project meets the minimum requirements for an accessory building of 864 square feet or less. At its meeting on June 11, 2014, the Planning Commission denied Site Plan 2014-11 and the applicant has appealed that decision to the City Council. The City Council can either uphold the Planning Commission action or overturn that action and approve the project with conditions of approval as deemed necessary.*

**Recommended Action: That the City Council hear the item and make a final determination.** (Planning Director)

8. **PUBLIC COMMENTS OR QUESTIONS** – *This is the time when persons in the audience wishing to address the City Council regarding matters not on the agenda may speak. Please complete the speaker card in the back of the room and present it to the City Clerk so that you may be recognized.*

9. **CITY COUNCIL / CITY MANAGER / STAFF COMMUNICATIONS:**

**ADJOURNMENT in memory of Norco residents Bob Allen and Harry Fish.**

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*In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office, (951) 270-5623. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II).*

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*Staff reports are on file in the Office of the City Clerk. Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be available for public inspection at the City Clerk's Counter in City Hall located at 2870 Clark Avenue.*

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*Please note that this meeting is being recorded. In accordance with Roberts Rules of Order, Norco City Council meeting minutes are a record of the actions taken, not what was said. The names of persons who spoke during the public comments section and their topics will be listed on the Minutes. Recordings of meetings may be purchased for a minimal cost by contacting the office of the City Clerk.*



MINUTES  
CITY OF NORCO  
CITY COUNCIL

June 18, 2014

City Council Chambers  
2820 Clark Avenue, Norco, CA 92860



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CALL TO ORDER: Mayor Hanna called the meeting to order at 5:24 p.m.

ROLL CALL: Berwin Hanna, Mayor, **Present**  
Herb Higgins, Mayor Pro Tem, **Present**  
Kathy Azevedo, Council Member, **Present**  
Kevin Bash, Council Member, **Present**  
Greg Newton, Council Member, **Present**

THE CITY COUNCIL WILL RECESS TO CLOSED SESSION (SECTION 54954) TO CONSIDER MATTERS:

**§54957 Public Employee Performance Evaluation:**

Title: City Manager

**RECONVENE PUBLIC SESSION:** Mayor Hanna reconvened the meeting at 7:05 p.m.

**REPORT OF ACTION(S) TAKEN IN CLOSED SESSION (§54957.1)**

City Attorney John Harper stated there was no reportable action.

**PLEDGE OF ALLEGIANCE:** Council Member Kathy Azevedo

**INVOCATION:** Pastor Louie Monteith, Norco Calvary Chapel

**PRESENTATION:** Lt. Eric Briddick, Riverside County Sheriff's Department

Captain Horton recognized Lt. Hedge for his service and leadership and introduced Lt. Eric Briddick. Lt. Briddick stated that he has been with the Riverside Sheriff's Department since

1990. Lt. Briddick noted that he grew up in Norco, is a Norco High School graduate, and has been of resident of the City for over 24 years.

**RECOGNITIONS:** *Amy Toliver, 2014 Western U.S. District 7 Miniature Horse Driving Champion*

Mayor Hanna presented Amy Toliver with a certificate recognizing her for her accomplishments.

Tony Baretto of Norco Horseweek presented a check to Norco Animal Control.

**CITY COUNCIL BUSINESS ITEMS AS FOLLOWS:**

**1. CITY COUNCIL COMMUNICATIONS / REPORTS ON REGIONAL BOARDS AND COMMISSIONS:**

Council Member Bash:

- Nothing to report.

Mayor Pro Tem Higgins:

- Nothing to report.

Council Member Newton:

- Attended the Chino Basin Desalter Authority meeting. The board adopted the 2014-2015 operations maintenance and capital budgets of \$15.5 million.

Council Member Azevedo:

- Attended the Western Riverside Council of Governments (WRCOG) meeting, which discussed the Beaumont litigation. The WRCOG General Assembly meeting will be on June 26, 2014.
- Met with Economic Development Specialist Roger Grody and the Economic Development Advisory Committee (EDAC) about developing an equestrian guide for the City.
- Met with the Birthday Committee to discuss the Fourth of July celebrations. The Committee received a \$500 donation from Norco Horseweek.

Mayor Hanna:

- Attended the Riverside Transit Agency (RTA) meeting. Mayor Hanna noted that ridership is up 3% and that RTA will be making a presentation regarding the 91 Freeway expansion on Thursday, June 19<sup>th</sup> at 6:00 p.m. at the Corona Public Library.
- Met with Sheriff Stan Sniff on June 10<sup>th</sup> to discuss the City's contract with the County Sheriff's Department. Mayor Hanna stated that the City Council will be conducting a workshop with Sheriff Sniff's staff late summer.
- Attended the League of California Cities meeting in Banning on Friday, June 6<sup>th</sup>.
- Commented on Day of the Cowboy and urged residents to join.

## 2. CITY COUNCIL CONSENT ITEMS:

Mayor Hanna and Council Member Azevedo pulled Consent Calendar Item 2.C., Council Member Newton pulled Items 2.F. and 2.H., and Council Member Azevedo pulled Item 2.I.

**M/S HIGGINS/AZEVEDO to adopt the remaining items as recommended on the Consent Calendar. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**

**NOES: NONE**

**ABSENT: NONE**

**ABSTAIN: NONE**

- A. City Council Minutes:  
Special Meeting of May 21, 2014  
Special Meeting of June 4, 2014  
Regular Meeting of June 4, 2014  
**Action: Approved the City Council Minutes**
- B. Procedural Step to Approve Ordinance after Reading of Title Only. **Action: Approved**
- C. Recap of Actions Taken by the Planning Commission at its Meeting held on June 11, 2014. **Pulled for discussion.**
- D. Designation of Voting Delegate and Alternate for the 2014 League of California Cities Annual Conference. **Action: Appointed Mayor Berwin Hanna as the Voting Delegate and Council Member Kathy Azevedo as the Alternate Voting Delegate to represent the City of Norco at the 2014 League of California Cities Annual Conference to be held in Los Angeles.**
- E. Proposed Cancellation of the September 3, 2014 City Council Regular Meeting. **Action: Cancelled the September 3, 2014 City Council regular meeting.**
- F. Fourth Amendment to the Annual On-Call Street Maintenance Program Service Agreement. **Pulled for Discussion.**
- G. Fourth Amendment to the Traffic Signal Maintenance Services Agreement. **Action: Approved the requested extension of the Traffic Signal Maintenance Service Agreement with Siemens Industry, Inc. for one (1) year, through June 30, 2015.**
- H. Order of Procedure and Resolutions Necessary for the Annual Assessment Levy Continuing Landscape Maintenance Districts No. 1 – Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28826; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk’s Crest, Tract 30230:

- a. Resolution No. 2014-27 (Beazer); Resolution No. 2014-28 (Western Pacific); Resolution No. 2014-29 (Centex); Resolution No. 2014-30 (Norco Ridge Ranch); Resolution No. 2014-31 (Hawk's Crest), approving the Engineer's Preliminary Report for the Annual Levy of Assessments for the Fiscal Year 2014-2015 in said District; and
- b. Resolution No. 2014-32 (Beazer); Resolution No. 2014-33 (Western Pacific); Resolution No. 2014-34 (Centex); Resolution No. 2014-35 (Norco Ridge Ranch); Resolution No. 2014-36 (Hawk's Crest), declaring the City's intention to provide for an Annual Levy and Collection of Assessments for certain maintenance in an existing District, and setting a time and place for the Public Hearing. **Pulled for Discussion.**
- I. Ratification of Fiscal Year 2014-2015 Western Riverside County Regional Wastewater Authority Budget. **Pulled for Discussion.**
- J. Approval of a Cooperation Agreement between the County of Riverside and the City of Norco for Participation in the County of Riverside's Urban County Program for Fiscal Years 2015-2016, 2016-2017, and 2017-2018. **Action: Adopted Resolution No. 2014-38, approving the Cooperation Agreement for the City of Norco to participate in the County of Riverside's Urban County Program for Fiscal Years 2015-2018.** (Director of Park, Recreation and Community Services)

**3. ITEM(S) PULLED FROM CITY COUNCIL CONSENT CALENDAR:**

- 2.C. Recap of Actions Taken by the Planning Commission at its Meeting held on June 11, 2014.** (Planning Director)

Mayor Hanna pulled this item specifically relating to Item 5.B. on the Planning Commission Agenda to inquire what the Zone Code Amendment was amending as there was no description noted.

There was some discussion between Director King and Council Member Azevedo as to why Item 5.A. on the Planning Commission agenda was denied.

**M/S AZEVEDO/HIGGINS to appeal Planning Commission Item 5.A., CUP 2013-02, Modification 1 (Pandemic Fitness). The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS**  
**NOES: NEWTON**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**M/S HANNA/HIGGINS to receive and file the recap of actions taken by the Planning Commission at its meeting held on June 11, 2014. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**

**ABSENT: NONE**  
**ABSTAIN: NONE**

**2.F. Fourth Amendment to the Annual On-Call Street Maintenance Program Service Agreement. (Director of Public Works)**

Council Member Newton pulled the item to inquire about how to get Caliber on more projects sooner. Director Askew stated that Caliber is on-call and do much of the smaller projects. The City goes out to bid for larger projects. Ms. Askew also stated that she tries to get several projects of several thousand feet together before calling on Caliber in order to save on costs.

**M/S NEWTON/HIGGINS to approve the requested extension of the Annual On-Call Street Maintenance Service Agreement with Caliber Paving, Inc. for one year through June 30, 2015. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**2.H. Order of Procedure and Resolutions Necessary for the Annual Assessment Levy Continuing Landscape Maintenance Districts No. 1 – Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28826; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk’s Crest, Tract 30230. Recommended Actions: Adopt the following Resolutions:**

- a. **Resolution No. 2014-27 (Beazer); Resolution No. 2014-28 (Western Pacific); Resolution No. 2014-29 (Centex); Resolution No. 2014-30 (Norco Ridge Ranch); Resolution No. 2014-31 (Hawk’s Crest), approving the Engineer’s Preliminary Report for the Annual Levy of Assessments for the Fiscal Year 2014-2015 in said District; and**
- b. **Resolution No. 2014-32 (Beazer); Resolution No. 2014-33 (Western Pacific); Resolution No. 2014-34 (Centex); Resolution No. 2014-35 (Norco Ridge Ranch); Resolution No. 2014-36 (Hawk’s Crest), declaring the City’s intention to provide for an Annual Levy and Collection of Assessments for certain maintenance in an existing District, and setting a time and place for the Public Hearing. (City Engineer)**

Jodie Webber addressed the Engineer’s Report and expressed her concerns about the \$75,000 set aside for trail fence replacement. Ms. Webber claimed that the report has been approved for the past four years with inaccurate numbers. Ms. Webber questioned where the \$2,500 increase in administrative costs was coming from. She also commented on the 25 lots in LMD 4 that were not included but now being assessed.

Ted Hoffman commented on a series of increases of \$90 over a two year period. Mr. Hoffman expressed his concerns with the difference in lineal feet of trail fencing noted from

previous years. He commented on the importance of proper understanding of how LMDs work.

Lance Gregory expressed opposition to increases and concurred with other speakers. Mr. Gregory stated that contractors are not fulfilling their obligations.

Council Member Newton stated that he drove around Norco Ridge Ranch for trail fencing conditions and it appears that trail replacement is not needed. Council Member Newton commented on his concerns with the assessment. Council Member Newton indicated that when LMDs were discussed last year, the Council decided to conduct a workshop the following year for the public to have a better understanding of LMDs.

City Manager Okoro stated that any revenue collected for each LMD is deposited in that specific LMD and those revenues are used directly. Mr. Okoro noted that the \$75,000 is being combined in the Fiscal Year 2014/2015 budget so that better values for larger fencing repairs can be obtained.

City Engineer Milano responded to the 84,000 lineal feet calculation, which came from developer plans since 2002. In December 2013, staff counted fencing from post to post and came up with 64,000 lineal feet. Mr. Milano also commented on the 25 lots on Mt. Shasta. He stated that in 2004, it was determined that since those lots did not have landscaping as the rest of the district had, those lots were not getting a benefit.

Council Member Newton requested a workshop prior to the public hearing for the LMDs on July 16<sup>th</sup>.

**M/S AZEVEDO/HIGGINS to schedule a City Council meeting on Wednesday, July 2, 2014 at 6:00 p.m. to present an educational workshop regarding the five Landscape Maintenance Districts. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**M/S AZEVEDO/HIGGINS to adopt Resolution No. 2014-27 (Beazer); Resolution No. 2014-28 (Western Pacific); Resolution No. 2014-29 (Centex); Resolution No. 2014-30 (Norco Ridge Ranch); Resolution No. 2014-31 (Hawk's Crest), approving the Engineer's Preliminary Report for the Annual Levy of Assessments for the Fiscal Year 2014-2015 in said District. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**M/S AZEVEDO/HIGGINS to adopt Resolution No. 2014-32 (Beazer); Resolution No. 2014-33 (Western Pacific); Resolution No. 2014-34 (Centex); Resolution No. 2014-35 (Norco Ridge Ranch); Resolution No. 2014-36 (Hawk's Crest), declaring the City's intention to provide for an Annual Levy and Collection of Assessments for certain**

maintenance in an existing District, and setting a time and place for the Public Hearing. The motion was carried by the following roll call vote:

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**2.I. Ratification of Fiscal Year 2014-2015 Western Riverside County Regional Wastewater Authority Budget.** (Director of Public Works)

In response to Council Member Azevedo, City Manager Okoro stated that the \$199,000 is a one-time increase in the operations budget.

**M/S AZEVEDO/HANNA to adopt Resolution No. 2014-37, adopting and approving the Fiscal Year 2014-2015 Western Riverside County Regional Wastewater Authority Budget, establishing rates to be charged for conveyance, treatment and disposal of wastewater. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**4. CITY COUNCIL DISCUSSION / ACTION ITEM:**

- A. Approval of a Resolution Authorizing the Sale and Assignment of Certain Delinquent Special Taxes to the California Statewide Community Development Authority (CSCDA). **Recommended Action: Adopt Resolution No. 2014-39, authorizing the sale and assignment of certain delinquent special taxes to the California Statewide Community Development Authority (CSCDA).** (City Manager)

City Manager Okoro gave a brief report about delinquent special taxes as presented in the staff report. City Attorney Harper indicated that statute requires the City institute foreclosure action. The City did not want to be in the position to be involved in foreclosure proceedings. Mr. Harper noted this program as a benefit to the City.

**M/S HIGGINS/HANNA to adopt Resolution No. 2014-39, authorizing the sale and assignment of certain delinquent special taxes to the California Statewide Community Development Authority. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

- B. Formation of a Public Land Improvement "Art in Public Places Ad-Hoc Advisory Committee" for the George Ingalls Equestrian Event Center. **Recommended Action: Approve the formation of the Art in Public Places Ad-Hoc Advisory Committee** (Director of Parks, Recreation and Community Services)

Director of Parks, Recreation and Community Services Brian Petree reported on the formation of the Art in Public Places Ad-Hoc Advisory Committee.

Mayor Hanna recommended the appointment of Sharon Hall to the Committee.

Council Member Azevedo noted that the report recommends appointing Mayor Hanna to the Committee but that Mayor Hanna's rotation as Mayor will end in December. Council Member suggested to reword the guidelines of membership to "two Council Members."

Pat Overstreet stated that she is delighted that Council and staff included the Beautification Committee and indicated that she is looking forward to working on the Committee.

**M/S AZEVEDO/NEWTON to approve the formation of the Art in Public Places Ad-Hoc Advisory Committee. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

- C. Consideration of Increasing the Membership of the Economic Development Advisory Council (EDAC) by One (1) Voting Member and Granting Voting Status to the Norco Area Chamber of Commerce & Visitors Center Representative. **Recommended Action: Adopt Resolution No. 2014-40, increasing the size of the Economic Development Advisory Council (EDAC) to eleven (11) members, granting voting status to the current seat reserved for a representative from the Norco Area Chamber of Commerce & Visitors Center, and appoint Victoria Leonard to serve on EDAC.** (Economic Development Consultant)

Economic Development Consultant Roger Grody gave a brief presentation on the Economic Development Advisory Council.

Diane Collins thanked the Council for recognizing the value and partnership with the Chamber. Ms. Collins also thanked the Council for considering granting the Chamber voting status. Ms. Collins suggested that the Chamber member be a member at large rather than from the Board of Directors.

**M/S HIGGINS/BASH to adopt Resolution No. 2014-40, increasing the size of the Economic Development Advisory Council (EDAC) to eleven (11) members, appointing Victoria Leonard to EDAC, and granting voting status to the current seat reserved for a representative from the Norco Area Chamber of Commerce & Visitors Center. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

- D. Installation of “No Stopping Any Time” Signs on a Portion of Sixth Street East of Pikes Peak Drive. **Recommended Action: Adopt Resolution No. 2014-41, for the installation of “No Stopping Any Time” signs on portion of Sixth Street east of Pikes Peak Drive.** (Director of Public Works)

Director of Public Works Lori Askew reported on the potential parking safety issues and commented on the discussion that took place with the Streets, Trails and Utilities Commission.

Council Member Bash commented on the blind curve and the concern for pedestrians walking to Animal Control. Director Askew suggested that Ingalls Park parking lots could be opened when adoption events take place. Director Petree suggested issuing admission tickets that would eliminate overnight parking.

**M/S BASH/HIGGINS to adopt Resolution No. 2014-41, for the installation of “No Stopping Any Time” signs on portion of Sixth Street east of Pikes Peak Drive. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**

**NOES: NONE**

**ABSENT: NONE**

**ABSTAIN: NONE**

**5. CONTINUED CITY COUNCIL PUBLIC HEARING:**

- A. Amendments to Comprehensive Fee Resolution to Update and Adjust Fees for General City Services. (City Manager)

*The proposed resolution recommends an adjustment of 1.6% to some fees based on changes to the Consumer Price Index (CPI) from April 2013 to April 2014.*

**Recommended Action: Adopt Resolution No. 2014-42, updating and adjusting fees for General City Services.**

City Manager Andy Okoro reported on the amendments to adjust fees for general City services.

**Mayor Hanna opened the public hearing at 9:42 p.m., indicating that proper notification had been made and asked for the appearance of those wishing to speak.**

Ted Hoffman commented that clubs used to help pay the cost of rentals. He also commented on Planning Commission Conditional Use Permit not having fee allowances for follow up inspections. Mr. Hoffman stated that Ingalls Park user fees appear to nickel and dime people and might scare people away from renting.

**Mayor Hanna closed the public hearing at 9:45 p.m., bringing the discussion back to the Council.**

In response to Council Member Newton, Director Petree stated that he did not present these

fees with the Parks and Recreation Commission and City Manager Okoro stated that fees are for user charges and not designed to cover contract costs.

**M/S AZEVEDO/BASH to adopt Resolution No. 2014-42, updating and adjusting fees for General City Services. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**6. CITY COUNCIL PUBLIC HEARINGS:**

- A. **Zone Code Amendment 2014-02 (City of Norco); Ordinance 976, First Reading:** An amendment to the Norco Municipal Code, Chapter 18.57 "Wireless Telecommunication Facility Regulations", to change the height requirement for freestanding antenna poles. (Planning Director)

Planning Director Steve King reported information as presented in the staff report.

**Mayor Hanna opened the public hearing at 9:50 p.m., indicating that proper notification had been made and asked for the appearance of those wishing to speak. With no one wishing to speak, Mayor Hanna closed the public hearing, bringing the discussion to the Council.**

**M/S AZEVEDO/BASH to adopt Ordinance No. 976 for first reading approving Zone Code Amendment 2014-02. The motion was carried by the following roll call vote:**

**AYES: AZEVEDO, BASH, HANNA, HIGGINS, NEWTON**  
**NOES: NONE**  
**ABSENT: NONE**  
**ABSTAIN: NONE**

**7. PUBLIC COMMENTS OR QUESTIONS:**

Geoff Kahan invited the community to attend the Rock Around Norco Car Show and Sock Hop on Saturday, August 9, 2014 at Bob's Big Boy on Hamner Avenue as part of the City's 50<sup>th</sup> Birthday celebrations.

Jodie Webber thanked the Council for drafting a noise ordinance. Ms. Webber asked Council to consider expanding the noise ordinance to include low frequency noise and to research the impact that continuous repeated exposure to low frequency noise would have, if any, to animals.

**8. CITY COUNCIL / CITY MANAGER / STAFF COMMUNICATIONS:**

Council Member Azevedo commented that she has been riding up to Ingalls Park for the flag practices and requested that Gate 1, the pedestrian gate, be opened out of concern for the horses so that they can avoid the large rocks in the parking lot.

City Manager Okoro indicated that on Wednesday, June 11<sup>th</sup>, the Mayor and staff toured the new Fairfield Inn and Suites by Marriott on Hamner Avenue.

City Manager Okoro gave a brief summary of a meeting between City Council Members Azevedo and Bash, City staff, and personnel from the Navy on Monday, June 16<sup>th</sup>. The meeting included topics such as the Navy's proposed photovoltaic project, status of other projects, and community outreach. In regards to the photovoltaic project, Mr. Okoro stated that the Navy acknowledged their error in not notifying the City of the Section 106 process related to the project. The Navy also noted that a final decision on that project has not been made. Council Member Bash commented that he learned that if the Navy receives approval from the National Environmental Policy Act (NEPA), then the navy has clearance to begin the photovoltaic project.

9. ADJOURNMENT: Mayor Hanna adjourned the meeting at 10:03 p.m.

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CHERYL L. LINK, CITY CLERK



**RECAP OF ACTIONS TAKEN  
CITY OF NORCO  
PLANNING COMMISSION**



CITY COUNCIL CHAMBERS – 2820 CLARK AVENUE  
REGULAR MEETING  
JULY 9, 2014

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**CALLED TO ORDER: 7:00 p.m.**

**ROLL CALL: Chair Hedges, Vice Chair Leonard, Commission Members Hoffman and Rigler; Commission Member Jaffarian absent.**

**STAFF PRESENT: Planning Director King, Senior Planner Robles, City Clerk Link, Deputy City Clerk Germain**

**PLEDGE OF ALLEGIANCE: Vice Chair Leonard**

**INTRODUCTION AND OATH OF OFFICE:** Performed by the City Clerk;  
New Planning Commission Member John D. Rigler

1. **ELECTION OF NEW CHAIR AND VICE CHAIR: Continued to the next regular meeting for a full quorum.**
2. **APPEAL NOTICE: Read by Planning Director King**
3. **PUBLIC COMMENTS: NONE**
4. **APPROVAL OF MINUTES:**
  - ❖ Minutes of Regular Meeting on June 11, 2014  
Recommended Action: Approval (*Deputy City Clerk*) **Action: Approved 4-0-1 (Jaffarian absent)**
5. **PUBLIC HEARINGS:**
  - A. **Conditional Use Permit 2014-14 (Gougeon/Andresen):** A request for approval to allow an accessory building consisting of a 4,000 square-foot Recreational Vehicle (RV), personal vehicles and tool storage building at 1320 Hillkirk Avenue located within the A-1-20 Zone. **Recommended Action: Continue project to August 13, 2014** (Senior Planner)  
**Action: Continued to August 13, 2014**
  - B. **Conditional Use Permit 2014-06 (Duncan):** A request for approval to allow an accessory building consisting of a 1,050 square-foot barn at 1456 Foxtrotter Road located in the Norco Ridge Ranch Specific Plan (NRRSP). **Recommended Action: Continue to August 13, 2014** (Senior Planner)  
**Action: Continued to August 13, 2014**

**Agenda Item 2.C.**

6. BUSINESS ITEMS:

- A. Site Plan 2014-13 (Williamson): A request for approval to allow an accessory building consisting of a 464 square-foot detached patio cover at 3449 Vandermolen Drive located within the Norco Ridge Ranch Specific Plan. **Recommended Action: Approval** (Senior Planner)  
**Action: Approved 4-0-1 (Jaffarian absent); this action is final unless appealed to the City Council.**

7. DISCUSSIONS:

- A. Zone Code Amendment 2014-04 (City): Amending Chapter 18.13 "A-1 Zone, Agricultural Low Density" in the Norco Municipal Code to add Bed and Breakfast as a conditionally-permitted use. **Recommended Action: Discuss and Provide Direction** (Planning Director)  
**Action: Planning Commission discussed concerns and issues that if a zone code amendment is adopted, it needs to be included and addressed in the amendment. The next step will be to draft the amendment based on Planning Commission input and circulate it to City Departments for additional input on potential impacts to City infrastructure. The draft zone code amendment will then be presented to the Planning Commission at a later meeting for a recommendation to the City Council. Potential dates for the next Planning Commission meeting and an ultimate City Council meeting have not been set.**
- B. Building Permit Process: The City Council directed the Planning Commission to review two completed building permit processes and the timelines for those approvals and provide any direction as to what the Commission felt could help improve the building permit process. **Recommended Action: Provide Input.** (Planning Director)  
**Action: In its discussion, the Planning Commission presented ideas to help streamline and improve the building permit process, though nothing was voted on as an official recommendation. The ideas that were presented and discussed will be provided to the City Council in a report that is anticipated to be on the August 6, 2014 agenda.**

8. CITY COUNCIL MINUTES: *Received and Filed*

- City Council Special Meeting of May 21, 2014
- City Council Special Meeting of June 4, 2014
- City Council Regular Meeting of June 4, 2014

9. PLANNING COMMISSION:

- A. Oral Reports from Various Committees:  
**Chair Hedges reported on the progress of the Infrastructure Funding Ad-Hoc Committee.**

- B. Request for Items on Future Agenda (within the purview of the Commission)  
**The next agenda will include discussion regarding accessory buildings and to establish what structures can be handled at staff level (under purview of the Planning Commission) because of the straight-forward and basic nature of those structures.**

10. ADJOURNMENT: **8:30 p.m.**

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

DATE: July 16, 2014

SUBJECT: Quarterly Investment Report for Quarter Ended June 30, 2014

RECOMMENDATION: Staff recommends that the City Council receive and file the Quarterly Investment Report for the Quarter Ended June 30, 2014.

**SUMMARY:** Staff is recommending that the City Council receive and file the City's quarterly investment report for the quarter ended June 30, 2014. This report has been prepared to meet the requirements of the City's Investment Policy and applicable sections of the State of California Government Code.

**BACKGROUND/ ANALYSIS:** The City's Investment Policy requires the Treasurer to render a quarterly report to the legislative body. The report is to be prepared in accordance with Government Code Section 53646 (b)(1) and should contain detailed information on all securities, investments, and monies of the local agency; a statement of compliance of the portfolio with the Statement of Investment Policy; and a statement of the City's ability to meet its cash flow requirements for the next six months. This report, which is for the quarter ended June 30, 2014, meets the requirements of the Investment Policy and Government Code. It covers the City and Successor Agency to the former Norco Redevelopment Agency.

The attached schedules (attachments 1 through 4) have been prepared to meet the detailed requirements of the Government Code and the City's Investment Policy as approved by the Council on May 21, 2014. It is to be noted that the Investment Policy excludes certain investments (bond proceeds) from these requirements. This means that bond proceeds are invested in accordance with the provisions of the bond indentures rather than the provisions of the Investment Policy. Consequently, in determining whether the operating portfolio holdings are in compliance with the Government Code and the approved Investment Policy, investments of bond proceeds have been excluded.

Attachment 1 provides a summary schedule of the City's operating portfolio holdings by type as of June 30, 2014. This summary also provides information on whether or not each investment category complies with the limitations imposed by law and the City's Investment Policy. Investments that are subject to the Statement of Investment Policy are operating/idle funds invested by the Treasurer within the provisions of the approved Investment Policy. During the quarter ended June 30, 2014, the operating portfolio increased by a net amount of \$8.3 million from \$33.3 million to \$41.6 million due to cash receipts exceeding cash disbursements. The excess of receipts over disbursements is anticipated during this quarter as the second installment of property tax revenues are

received for the Successor Agency, the City and various Landscape and Community Facilities Districts.

Attachment 2 provides a graphical breakdown of the operating portfolio holdings by investment type as of June 30, 2014. This chart is for investments that are subject to the Investment Policy. The operating portfolio consisted of 94.20% investment in the State of California Local Agency Investment Fund (LAIF). The remaining 5.80% comprises of cash and certificates of deposit.

A summary of investments not subject to the provisions of the Investment Policy (bond proceeds and debt service reserve funds) is also shown on Attachment 1. These funds are invested in accordance with applicable bond indenture provisions. During the quarter ended June 30, 2014, bond proceeds and debt service reserve fund portfolio decreased by a net amount of \$1 million from \$22.7 million to \$21.7 million due to bond proceeds expenditures for capital projects.

Attachment 3 provides a detailed listing of the City's portfolio holdings as required by the Government Code. In this listing, "N/A" is used to denote that the information is either not available or applicable. The market value of investments in LAIF has been reported to equal cost because the City's investments in the pool are readily liquid and the market value of these investments approximates cost. Agency Securities issued by United States Government Sponsored Entities (GSEs) are rated "AA+" by Moody's rating service and "AAA" by Fitch rating service.

### *CASH FLOWS*

The first half of the fiscal year usually presents a challenging cash flow situation for the General Fund due largely to the lag in the receipt of tax revenues. However, the fiscal condition of the General Fund has improved over the past two years as fund and cash balances have improved. Along with anticipated cash receipts, staff estimates that there will be sufficient cash to cover disbursements for the City and Successor Agency for the next six months ending December 31, 2014.

FINANCIAL INPACT: Not Applicable.

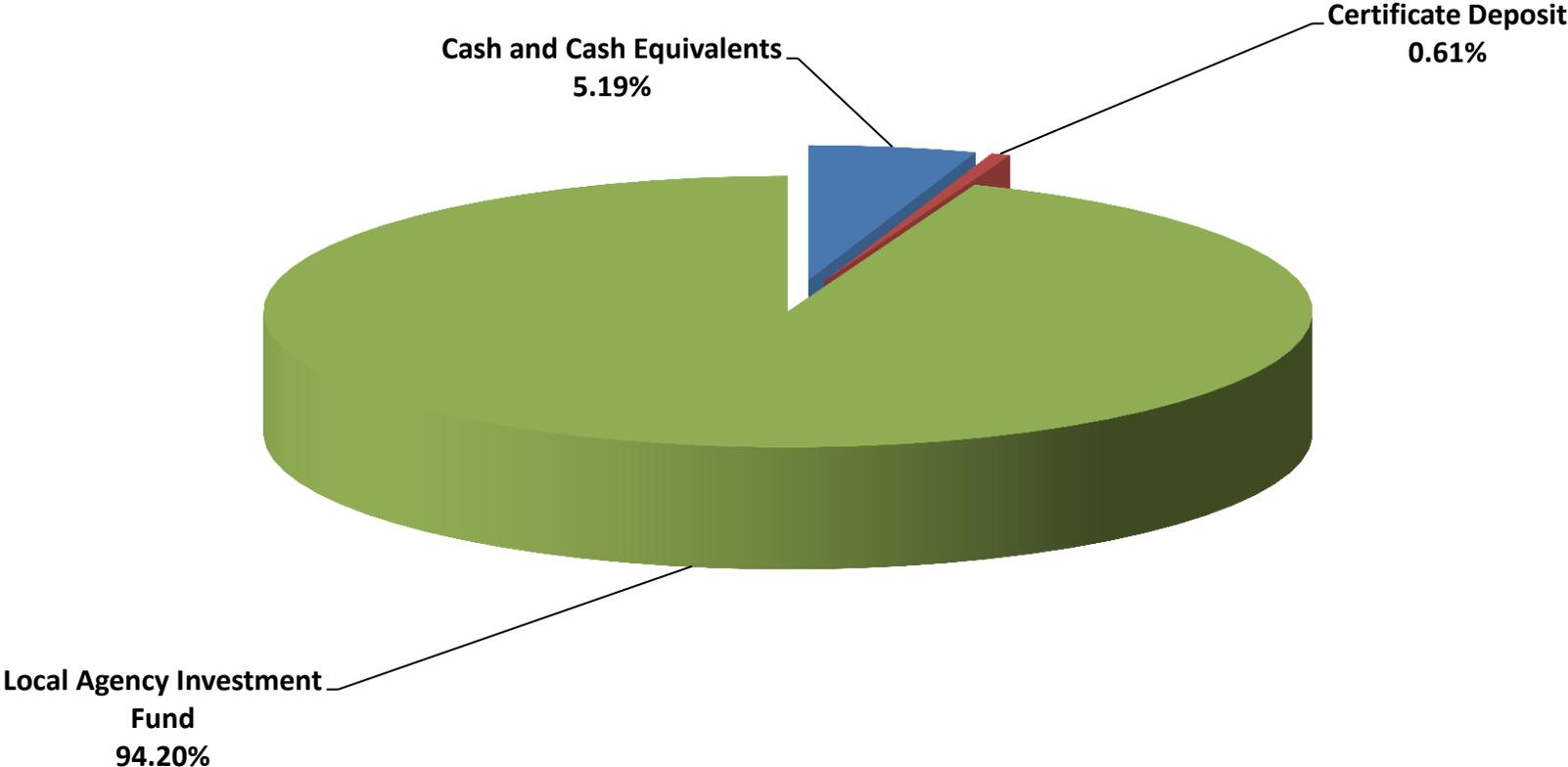
Attachments: 1) Portfolio Summary  
2) Summary Graph  
3) Portfolio Details – "Investments Not Subject..."  
4) Certification Form

**City of Norco, California**  
**Portfolio Summary**  
**As of June 30, 2014**

<b>City Investments Subject to Investment Policy</b>	<b>Market Value</b>	<b>Percentage</b>	<b>Policy Maximum</b>	<b>Compliance</b>
Cash and Cash Equivalents	\$ 2,164,926	5.19%	15.00%	In Compliance
Certificate Deposit	254,182	0.61%	30.00%	In Compliance
Local Agency Investment Fund	39,257,949	94.20%	\$50.0 Million	In Compliance
Total	\$ 41,677,057	100.00%		

<b>City Investments Not Subject to Investment Policy</b>	<b>Market Value</b>	<b>Percentage</b>
Community Facilities Districts	\$ 2,423,385	11.14%
Sewer and Water System	9,299,863	42.77%
Refunding Tax Allocation Bonds	10,021,256	46.09%
Total	\$ 21,744,504	100.00%

**Summary of City Portfolio  
(Investments Subject to Investment Policy)  
As of June 30, 2014**



City of Norco, California  
 Portfolio Details  
 As of June 30, 2014  
 Investments Subject to Policy

**Cash & Cash Equivalents**

Purchase					Coupon	Yield to				
Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Rate	Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	Checking Accounts	Wells Fargo	N/A	N/A	0.00%	N/A	2,164,926	2,164,926
<b>Subtotal</b>				<b>Wells Fargo</b>					<b>2,164,926</b>	<b>2,164,926</b>
4/20/2014	4/20/2015	2329958022	Certificate Deposit	Citizen Business Bk	N/A	0.35%	0.35%	N/A	101,913	101,913
2/25/2014	11/5/2014	2329958065	Certificate Deposit	Citizen Business Bk	N/A	0.25%	0.25%	N/A	152,269	152,269
<b>Subtotal</b>				<b>Wells Fargo</b>					<b>254,182</b>	<b>254,182</b>

**Local Agency Investment Fund**

Purchase					Coupon	Yield to				
Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Rate	Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	Local Agency Investment Fund	State of California	N/A	N/A	N/A	N/A	39,257,949	39,257,949
<b>Subtotal</b>									<b>39,257,949</b>	<b>39,257,949</b>
<b><u>Total Investments Subject to Policy</u></b>									<b>41,677,057</b>	<b>41,677,057</b>

City of Norco, California  
 Portfolio Details  
 As of June 30, 2014  
 Investments Not Subject to Policy (Bond Proceeds)  
 Community Facilities Districts

Cash and Cash Equivalents

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	First American Government Obligation	791884004 US Bank	N/A	N/A	0.01%		2,990	2,990
N/A	N/A	N/A	U.S. Bank N.A. Open, Commercial Paper	791884004 US Bank	N/A	N/A	0.00%	N/A	1,997	1,997
N/A	N/A	N/A	First American Government Obligation	794148000 US Bank	N/A	N/A	0.00%	N/A	1	1
N/A	N/A	N/A	First American Government Obligation	794148002 US Bank	N/A	N/A	0.01%	N/A	1,736,065	1,736,065
<b>Subtotal</b>									<b>1,741,054</b>	<b>1,741,054</b>

Local Agency Investment Fund

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	Local Agency Investment Fund	CFD 93-1 State of California	N/A	N/A	N/A	N/A	161,489	161,489
<b>Subtotal</b>									<b>161,489</b>	<b>161,489</b>

U.S. and Agency Securities

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
12/27/2013	12/27/2018 (3)	3134G4RC4	F H L M C M T N Step Up Coupon	791884004 US Bank	AAA*	1.15%	1.15%	520,000	520,000	520,842
<b>Subtotal</b>									<b>520,000</b>	<b>520,842</b>

Total Community Facilities Districts

**2,422,543**      **2,423,385**

*Investments Not Subject to Policy (Bond Proceeds)*  
 Sewer and Water System

Cash and Cash Equivalents

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	First American Prime Obligations	130584000 US Bank	AAA	N/A	0.00%	N/A	7	7
N/A	N/A	N/A	U.S. Bank N.A. Open, Commercial Paper	130584001 US Bank	N/A	N/A	0.00%	N/A	1,432,279	1,432,279
N/A	N/A	N/A	U.S. Bank N.A. Open, Commercial Paper	130584004 US Bank	N/A	N/A	0.00%	N/A	4,858,937	4,858,937
N/A	N/A	N/A	First American Prime Obligations	130584004 US Bank	N/A	N/A	0.02%	N/A	6,750	6,750
<b>Subtotal</b>									<b>6,297,973</b>	<b>6,297,973</b>

U.S. and Agency Securities

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
12/27/2013	12/27/2016 (2)	3134G4QU5	F H L M C M T N Step Up Coupon	130584004 US Bank	AAA*	0.45%	0.55%	3,000,000	3,000,000	3,001,890
<b>Subtotal</b>									<b>3,000,000</b>	<b>3,001,890</b>

Total Sewer and Water System

**9,297,973**      **9,299,863**

City of Norco, California  
Portfolio Details  
As of June 30, 2014

**Investments Not Subject to Policy (Bond Proceeds)**  
**Refunding Tax Allocation Bonds**

**Cash & Cash Equivalents**

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	First American Government Obligation	94432430 US Bank	N/A	N/A	0.00%	N/A	1	1
N/A	N/A	N/A	First American Government Obligation	94432431 US Bank	N/A	N/A	0.01%	N/A	62,403	62,403
N/A	N/A	N/A	First American Government Obligation	94432432 US Bank	N/A	N/A	0.00%	N/A	3	3
N/A	N/A	N/A	U.S. Bank N.A. Open, Commerical Paper	94432435 US Bank	N/A	N/A	0.00%	N/A	143	143
N/A	N/A	N/A	First American Government Obligation	94432441 US Bank	N/A	N/A	0.00%	N/A	56	56
N/A	N/A	N/A	U.S. Bank N.A. Open, Commerical Paper	94432445 US Bank	N/A	N/A	0.00%	N/A	319	319
N/A	N/A	N/A	U.S. Bank N.A. Open, Commerical Paper	94662507 US Bank	N/A	N/A	0.00%	N/A	1,616,004	1,616,004
N/A	N/A	N/A	First American Government Obligation	787891004 US Bank	N/A	N/A	0.01%	N/A	1,382	1,382
N/A	N/A	N/A	First American Government Obligation	792126001 US Bank	N/A	N/A	0.00%	N/A	1	1
N/A	N/A	N/A	First American Government Obligation	792126003 US Bank	N/A	N/A	0.01%	N/A	8,941	8,941
N/A	N/A	N/A	First American Government Obligation	792126004 US Bank	N/A	N/A	0.01%	N/A	1,504	1,504
N/A	N/A	N/A	First American Government Obligation	129543000 US Bank	N/A	N/A	0.01%	N/A	3,573	3,573
N/A	N/A	N/A	First American Government Obligation	129543001 US Bank	N/A	N/A	0.00%	N/A	3	3
N/A	N/A	N/A	First American Government Obligation	129543002 US Bank	N/A	N/A	0.00%	N/A	1	1
N/A	N/A	N/A	U.S. Bank N.A. Open, Commerical Paper	129543003 US Bank	N/A	N/A	0.00%	N/A	973,805	973,805
N/A	N/A	N/A	US Bank Money Market	140828001 US Bank	N/A	N/A	0.00%	N/A	4	4
N/A	N/A	N/A	US Bank Money Market	140828002 US Bank	N/A	N/A	0.00%	N/A	1	1
N/A	N/A	N/A	US Bank Money Market	140828004 US Bank	N/A	N/A	0.03%	N/A	1,480,530	1,480,530
N/A	N/A	N/A	US Bank Money Market	140828005 US Bank	N/A	N/A	0.00%	N/A	12	12
<b>Subtotal</b>									<b>4,148,687</b>	<b>4,148,687</b>

**Local Agency Investment Fund**

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value
N/A	N/A	N/A	Local Agency Investment Fund	2010 TABs State of California	N/A	N/A	N/A	N/A	22,641	22,641
N/A	N/A	N/A	Local Agency Investment Fund	2003 TABs State of California	N/A	N/A	N/A	N/A	49,233	49,233
<b>Subtotal</b>									<b>71,874</b>	<b>71,874</b>

**U.S. and Agency Securities**

Purchase Date	Maturity Date	CUSIP #	Description of Security	Account	Rating	Coupon Rate	Yield to Maturity	Face Value	Cost	Market Value	
12/27/2013	12/27/2018 (3)	3134G4RC4	F H L M C M T N Step Up Coupon	792126003 US Bank	AAA*	1.200%	1.15%	1,555,000	1,555,000	1,557,519	
12/16/2013	9/12/2014	3130A0GJ3	Federal Home Loan Bks	94662507 US Bank	AAA*	0.150%	0.15%	1,000,000	1,000,200	1,000,160	
<b>Subtotal</b>									<b>2,555,000</b>	<b>2,555,200</b>	<b>2,557,679</b>

City of Norco, California  
 Portfolio Details  
 As of June 30, 2014

Investment Agreements

<u>Purchase Date</u>	<u>Maturity Date</u>	<u>CUSIP #</u>	<u>Description of Security</u>	<u>Account</u>	<u>Rating</u>	<u>Coupon Rate</u>	<u>Yield to Maturity</u>	<u>Face Value</u>	<u>Cost</u>	<u>Market Value</u>
N/A	3/1/2030	N/A	Guaranteed Investment Contract	94432433 US Bank	N/A	N/A	5.71%	N/A	2,161,566	2,161,566
N/A	3/1/2030	N/A	Guaranteed Investment Contract	94432443 US Bank	N/A	N/A	5.16%	N/A	347,000	347,000
N/A	2/27/2015	N/A	Guaranteed Investment Contract	787891003 US Bank	N/A	N/A	3.41%	N/A	734,450	734,450
<b>Subtotal</b>									<b>3,243,016</b>	<b>3,243,016</b>
<b>Total Refunding Tax Allocation Bonds</b>									<b>10,018,777</b>	<b>10,021,256</b>
<b><u>Total Investments Not Subject to Policy</u></b>									<b>21,739,293</b>	<b>21,744,504</b>

\* On August 5, 2011 S&P Lowered US Debt Rating to AA+, Fitch and Moody's Ratings are Still AAA

2) Step up rates: .45% to 6/27/14, .55% to 12/27/14, .625% to 6/27/15, .75% to 12/27/15, 1.25% to 6/27/16, 2.00% to 12/27/16.

3) Step up rates: 1.15% to 12/27/15 and 2.5% to 12/27/18.

**Attachment 4**

**Quarterly Investment Portfolio**

**For the Quarter Ended June 30, 2014**

As required by the Government Code, the Treasurer certifies that the investments reported in the accompanying schedules (Attachments 1 through 3) comply with the City of Norco Investment Policy and that sufficient liquidity along with anticipated revenues are available to meet the City and Successor Agency budgeted expenditure requirements for the next six months ending December 31, 2014.

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Andy Okoro, City Manager/City Treasurer

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: John R. Harper, City Attorney

PREPARED BY: John R. Harper, City Attorney

DATE: July 16, 2014

SUBJECT: Amendment to Employment Agreement between the City of Norco and Valentine Andy Okoro

RECOMMENDATION: Approve Amendment No. 1 to the Employment Agreement between the City of Norco and Valentine Andy Okoro.

**SUMMARY:** It is recommended that the City Council approve Amendment No. 1 to the Employment Agreement between the City of Norco and City Manager Andy Okoro, which includes a 1.6% salary adjustment and that the total number of annual administrative leave hours be granted at the beginning of the fiscal year.

**BACKGROUND/ANALYSIS:** The City of Norco and Andy Okoro entered into an employment agreement, which Mr. Okoro was employed as City Manager effective July 18, 2013 for a base term of three (3) years. The current agreement provides that administrative leave is accrued on a monthly basis. This method results in leave being essentially available at the conclusion of the year rather than used in the course of the year. As a result, hours accrued during FY 2013/2014 will be required to be carried over to FY 2014/2015, clearly not the purpose of administrative leave.

It is therefore recommended that the total number of annual administrative leave hours be granted at the beginning of the fiscal year. There would be no increase in the number of hours. Additionally, the City granted a 1.6% salary adjustment to all employees. The employment agreement is recommended to be amended to reflect that increase.

**FINANCIAL IMPACT:** The compensation amount set forth in the amended employment agreement is that amount in the adopted 2014/2015 budget.

Attachments: Amended Employment Agreement

**AMENDED EMPLOYMENT AGREEMENT**

Amendment No. 1 That Employment Agreement entered into effective July 18, 2013 by and between the City of Norco, a municipal corporation (hereinafter "City") and Valentine Andy Okoro, an individual (hereinafter "Okoro"), is hereby amended as follows:

- 4. **COMPENSATION:** Okoro shall be required to devote his full time (other than as stipulated in Section 3 of this Agreement) to the position of City Manager. For, and in consideration of, Okoro services to be rendered pursuant to this Agreement, he will be paid an annual salary of \$173,736.00. The City Manager shall be paid in the same manner and at the same times as other salaries of the City employees are paid. City agrees not to reduce the salary or fringe benefits of Okoro at any time during employment. Any increase in compensation during the term of this Agreement shall be within the absolute discretion of the City Council.
- 5. **BENEFITS:** Okoro shall be provided with the following benefits in addition to the compensation specified in Paragraph 4 above:

a. LEAVE shall be amended to read as follows:

Okoro shall be granted 80 hours of administrative leave on annual basis effective July 1 of each year. Unused administrative leave days may not be carried over from one contract year to the next. Vacation days accrued but not taken may be carried over from one contract year to the next up to a maximum of 420 hours. Sick leave shall accrue at the same rate as City department heads. Any vacation leave to be taken that exceeds one week must be approved in advance by the City's Mayor.

All other provisions of the Employment Agreement shall remain unchanged. This Amendment shall be binding upon and shall inure to the benefits of the heirs at law and executors or administrators of the estate of Okoro.

Executed on July 16, 2014, at Norco, California.

CITY OF NORCO

VALENTINE ANDY OKORO

BY: \_\_\_\_\_  
Berwin Hanna, Mayor

BY: \_\_\_\_\_  
Valentine Andy Okoro

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Cheryl L. Link, City Clerk

\_\_\_\_\_  
John Harper, City Attorney

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Lori J. Askew, Director of Public Works

DATE: July 16, 2014

SUBJECT: Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provision of Integrated Waste Management Services

RECOMMENDATION: Adopt **Resolution No. 2014-43**, approving Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provisions of Integrated Waste Management Services and authorize the City Manager to sign Amendment No. 1.

**SUMMARY:** Staff is requesting that the City Council approve Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provision of Integrated Waste Management Services. This amendment changes the way the franchise payments are calculated which was inadvertently changed in the new agreement.

**BACKGROUND/ANALYSIS:** On May 7, 2014, City Council adopted Resolution 2014-20, approving the Amended and Restated Franchise Agreement, and rates therein, between the City of Norco and USA Waste of California, Inc. for the Collection, Transportation, Recycling and Disposal of Solid Waste effective July 1, 2014.

Section 9 of this Agreement, titled Billing and Franchise Fee contains wording defining how the franchise fee payments are calculated. The wording was inadvertently changed from the past contract and is not favorable to the City. USA Waste has agreed to change the wording as requested by staff. For the wording to take effect an amendment to the Agreement must be approved by the City Council and signed by the City Manager.

**FINANCIAL IMPACT:** N/A.

Attachments: Resolution No. 2014-43  
Amendment No. 1

## RESOLUTION NO. 2014-43

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO, CALIFORNIA, APPROVING AMENDMENT NO. 1 TO THE AMENDED AND RESTATED AGREEMENT BETWEEN THE CITY OF NORCO AND USA WASTE OF CALIFORNIA, INC FOR THE PROVISION OF INTEGRATED WASTE MANAGEMENT SERVICES

WHEREAS, on May 7, 2014 City Council approved Resolution 2014-20 approving an amended and restated agreement between the City of Norco and USA Waste of California for the provision of integrated waste management services; and

WHEREAS, Section 9 of the Agreement titled "Billing and Franchise Fee" contains section 9.A titled Franchise Fee; and

WHEREAS, the wording in Section 9.A defining "Gross Receipts" was inadvertently changed in the review process; and

WHEREAS, the City and USA Waste of California, Inc. mutually agree to change the wording under the definition of "Gross Receipts" for the benefit of the City of Norco; and

WHEREAS, Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provision of Integrated Waste Management Services replaces Section 9.A of the original agreement with Section 9.A of the amendment, which contains revised wording for defining "Gross Receipts".

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Norco, California, does hereby approve Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provision of Integrated Waste Management Services.

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

\_\_\_\_\_  
Mayor of the City of Norco, California

ATTEST:

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

I, CHERYL L. LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014 by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on July 16, 2014.

---

Cheryl L. Link, City Clerk  
City of Norco, California

AMENDMENT NO. 1 TO AMENDED AND RESTATED  
AGREEMENT BETWEEN THE CITY OF NORCO AND USA  
WASTE OF CALIFORNIA, INC. FOR THE PROVISION OF  
INTEGRATED WASTE MANAGEMENT SERVICES

This Amendment No. 1 to the Amended and Restated Agreement between the City of Norco and USA Waste of California, Inc. for the Provision of Integrated Waste Management Services is made and entered into this 16th day of July, 2014, by and between the City of Norco (“City”), and USA Waste of California, Inc., a Delaware corporation, a Waste Management company (“Contractor”).

RECITALS

City and Contractor entered into the Amended and Restated Agreement for the Provision of Integrated Waste Management Services, dated May 7, 2014 (“Agreement”).

City and Contractor desire to amend the Agreement to provide clarification with respect to the determination of Gross Receipts and the calculation and payment of franchise fees.

AGREEMENT

In consideration of the promises and mutual covenants and agreements hereinafter contained, and for good and valuable consideration, receipt of which is hereby acknowledged, City and Contractor agree as follows:

Section 1. Section 9.A of the Agreement is deleted in its entirety and replaced with the following:

**“SECTION 9. BILLING AND FRANCHISE FEE**

A. Franchise Fee. For the privileges granted to and conferred upon Contractor by the City under this Agreement, Contractor shall pay the City a franchise fee based on a percentage of Gross Receipts, as set forth below. The franchise fee is intended to help the City recover the costs of time spent overseeing the franchise agreement, ensuring compliance with state and federal waste disposal and recycling laws, completing projects to deal with water quality/national pollutant discharge elimination system (“NPDES”) requirements, and the impact of the franchisee’s operations on City streets and other public property.

The percentage franchise fee for residential services is as follows:

Year	% of Gross Receipts
7/1/14 – 6/30/15	11.58%
7/1/15 – 6/30/16	13.16%
7/1/16 – 6/30/17	14.74%
7/1/17 – 6/30/18	16.32%
7/1/18 – end of term	17.90%



IN WITNESS WHEREOF, Contractor and the City have executed this agreement in Norco, California, on July 16, 2014.

Approved as to Content:

By: \_\_\_\_\_  
Lori Askew, Public Works Director

Date: \_\_\_\_\_

Approved as to Form:

By: \_\_\_\_\_  
John R. Harper, City Attorney

Date: \_\_\_\_\_

CITY OF NORCO:

By: \_\_\_\_\_  
Andy Okoro, City Manager

Date: \_\_\_\_\_

Attest:

By: \_\_\_\_\_  
Cheryl L. Link, City Clerk

Date: \_\_\_\_\_

USA WASTE OF CALIFORNIA, INC.

\_\_\_\_\_  
(Print name)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
Telephone Number      Fax Number

\_\_\_\_\_  
Social Security/Tax ID Number

Date: \_\_\_\_\_

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Lori J. Askew, Director of Public Works

DATE: July 16, 2014

SUBJECT: Authorization for the Department of Public Works to Purchase a Trailer Mounted Vacuum Excavator

RECOMMENDATION: Authorize the appropriation of \$34,678.18 to purchase a trailer mounted vacuum excavator.

**SUMMARY:** Staff is requesting that the City Council approve and authorize the purchase of a 2014 trailer mounted vacuum excavator for the purpose of assisting in a wide range of cleanup and soft excavation tasks.

**BACKGROUND/ANALYSIS:** The Department of Public Works is requesting the City Council consider purchasing the trailer mounted vacuum excavator with funds available in Fund 128, Vehicle Replacement Internal Service Fund. The Public Works Department has an existing 66 gallon trailer mounted vacuum excavator which is seven years old and while still operable is too small for many of the jobs the field crew encounter. The new excavator will enable field personnel to perform valve cleaning, water service excavation, potholing, sewer spill response cleanup, in addition to numerous other tasks.

On April 28, 2014, staff requested quotes from several local vendors by supplying complete specifications of the needed apparatus. Only two vendors submitted sealed bids. Ditch Witch of Corona was the low bid at \$34,678.18. Their price includes the complete excavator and appurtenances with warranty and support of operation.

Staff is requesting City Council to approve the appropriation of \$34,678.18 from Fund 128 to purchase this piece of equipment. Public Works has \$42,654 available within this fund from the sale of vehicles at auction

**FINANCIAL IMPACT:** \$34,678.18 from Fund 128. Beginning balance of \$662,286 in this fund for Public Works.

Attachments: Bid Summary Sheets

**DITCH WITCH SOUTHERN CALIFORNIA**

1201 EAST 6TH STREET  
CORONA, CA 92879-1657  
Phone 951-735-7510  
Fax 951-735-8480

**CITY OF NORCO**

1281 5<sup>th</sup> Street  
Norco, Ca 92860

Date: 05/12/2014

Salesperson: Kyle Callahan

Mobile: 951-232-1204

E-Mail: kcallahan@calditchwitch.com

**Price Quote**

Quote valid for: 30 days

**“NEW” 2014 DITCH WITCH FX25 VACUUM EXCAVATOR**

The FX25 Vacuum Excavation System is a low cost, low maintenance vac system that can perform a wide range of cleanup and soft excavation tasks. The basic unit includes the following: Briggs and Stratton Vanguard 31 hp (gross) air-cooled gasoline engine, open power pack design and hydraulic door

<u>Item</u>	<u>Qty</u>	<u>Part Number</u>	<u>Description</u>
10	1	FX25	FX25 VAC SYSTEM
20	1	FX25-CONFIG	CONFIG: FX25 FLUID EXCAVATOR
30	1	650-1319	FX25 REVERSE FLOW WWATER ASSEMBLY
40	1	350-3813	FX25 500 GAL WWATER PARTS ASM
50	1	350-2642	TANK AND SKID 500 GAL
60	1	350-3706	3" & 4" HOSE AND TOOL RACK
70	1	350-2457	WATER TANK SUB, 80 GALLON
80	1	350-3777	FILTER ASSEMBLY
90	1	350-3693	FILTER STAND
100	1	350-3765	STAND ASSEMBLY
110	1	350-3766	CYCLONE LID ASSY (VERTICAL PLUMBING)
120	1	350-3779	CYCLONE ASSEMBLY
130	1	310-893	3" SUCTION TOOL
140	1	318-652	3" SUCTION HOSE-50'-M/F
150	1	401-029	TURBO SPRAY GUN NOZZLE
160	1	T9S	T9S TANDEM AXLE TRAILER
170	1	025-040	T9S VAC TRAILER

<b>SALE PRICE</b>	<b>\$</b>	<b>32,102.94</b>
<b>SALES TAX</b>	<b>\$</b>	<b>2,568.24</b>
<b>CA TIRE TAX</b>	<b>\$</b>	<b>7.00</b>
<b>GRAND TOTAL</b>	<b>\$</b>	<b>34,678.18</b>

US Dollars

NOTE: Registration and fees for any unit subject to California Air Resource Board regulation, is customer responsibility.

*\* [Signature]* **JASON CONARD, SALES MANAGER DOWX 5/12/14.**

**WARRANTY & SUPPORT INCLUDED WITH PURCHASE:**

- **5 YEAR PARTS AND LABOR WARRANTY:**
  - 1<sup>ST</sup> YEAR BUMPER TO BUMPER
  - YEARS 2 – 5 COVER MAJOR COMPONENTS
- **2 YEAR SERVICE PLAN**
  - WE WILL PERFORM ALL RECOMMENDED SCHEDULED MAINTENANCE FOR THE FIRST 2 YEARS AT NO COST TO THE CITY OF NORCO, MAINTENANCE WORK TO BE COMPLETED IN OUR CORONA SHOP
- **5 STAR VACUUM SUPPORT PACKAGE INCLUDED WITH ALL NEW VACUUM PURCHASES**
  - WE DO WHAT WE SAY WE WILL DO, NO FINE PRINT

Investment Proposal for:  
CITY OF NORCO  
1281 5TH ST

NORCO, CA 92860  
Phone: (951) 735-3900



Kelly Maes  
14557 Randall Ave  
Fontana, CA 92335  
Phone: (909) 428-4800  
Mobile: (909) 275-4911  
Fax: (909) 428-4900

Thank you for allowing me the opportunity to quote you this equipment. We appreciate your business. Kelly

**Equipment: NEW 2014 MCLAUGHLIN VX30-500G**

---

**Key Features**

8045231 500 GAL SPOIL TANK, 31HP VANGUARD GAS ENGINE  
0001 2 YEAR RECCOMENDED SCHEDULED MAINTENANCE.  
8046275 6" DRAIN VALVE CAP ASSEMBLY  
0002 (3) EXTRA 10' X 3" SUCTION HOSE WITH COUPLERS  
8047913 2 YEAR PARTS AND SERVICE EXTENDED WARRANTY

**Model Description**

Description not found.

**Serial Number**

TBD (0 Approximated Hours)

Equipment Price \$35,731.00

**Estimated Conversion Price: \$35,731.00**

**PROPOSAL SUMMARY**

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Equipment Total	\$35,731.00
Sub Total	\$35,731.00
Estimated sales tax to apply	
(Tire Fee (TF))	\$7.00
(CARV CA RIVERSIDE 8%)	\$2,858.48

**Total Investment \$38,596.48**

**California Air Resources Disclosure** - When operated in California, any off-road diesel vehicle may be subject to the California Air Resources Board In-Use Off-Road Diesel Vehicle Regulation. It therefore could be subject to retrofit or accelerated turnover requirements to reduce emission of air pollutants. CA Air Resources Board Regulation 2449(d)(3) As of June 15th, 2008 idling rental equipment must be limited to 5 minutes.

**Kelly Maes**  
Core Product Account Manager  
Fontana - Vermeer  
KMaes@rdoequipment.com

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Cheryl L. Link, City Clerk

DATE: July 16, 2014

SUBJECT: **Ordinance No. 976:** Amending Chapter 18.57 "Wireless Telecommunication Facility Regulations" of the Norco Municipal Code to Change the Height Requirement for Freestanding Antenna Poles. (Zone Code Amendment 2014.02).

RECOMMENDATION: Adopt **Ordinance No. 976** for second reading.

SUMMARY: The first reading of Ordinance No. 976 was held on June 18, 2014 and adopted by the City Council with a 5-0 vote. Ordinance No. 976 amends Chapter 18.57 of the Norco Municipal Code, changing the height requirement for freestanding antenna poles.

Attachment: Ordinance No. 976

## **ORDINANCE NO. 976**

### **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NORCO APPROVING ZONE CODE AMENDMENT 2014-02 AMENDING CHAPTER 18.57 AND OTHER CROSS-REFERENCES AS NEEDED OF THE NORCO MUNICIPAL CODE. ZONE CODE AMENDMENT 2014-02.**

WHEREAS, the CITY OF NORCO initiated Zone Code Amendment 2014-02 to Norco Municipal Code Title 18, Chapter 18.57 regarding the maximum allowed height of a telecommunication tower facility and the need for a variance to exceed that height; and

WHEREAS, the Zone Code Amendment, was duly submitted to said City's Planning Commission for decision at a public hearing for which proper notice was given; and

WHEREAS, the Zone Code Amendment was scheduled for public hearing on May 14, 2014 on or about 7 p.m. in the Council Chambers at 2820 Clark Avenue, Norco, California 92860; and

WHEREAS, at the time set, the Planning Commission held a public hearing and received both oral and written testimony pertaining to the Zone Code Amendment; and

WHEREAS, the Planning Commission adopted Resolution 2014-29 recommending that the City Council approve Zone Code Amendment 2014-02; and

WHEREAS, the Zone Code Amendment was duly submitted to said City's City Council for decision at a public hearing for which proper notice was given; and

WHEREAS, the Zone Code Amendment was scheduled on June 18, 2014 on or about 7 p.m. in the Council Chambers at 2820 Clark Avenue, Norco, California 92860; and

WHEREAS, at the time set, the City Council received both oral and written testimony pertaining to the Zone Code Amendment; and

WHEREAS, the City of Norco acting as the Lead Agency has determined that the project is exempt from the California Environmental Quality Act (CEQA) and the City of Norco Environmental Guidelines per Class 5.

NOW, THEREFORE, the City Council of the City of Norco does hereby find as follows:

- A. The proposed amendment is necessary to change the height requirement for freestanding antenna poles for wireless telecommunication facilities in commercial zones the City.

- B. The proposed amendment will allow consideration of a height over 50 feet for freestanding antenna poles for wireless telecommunication facilities, in the approval of a conditional use permit with justification provided by a Radio Frequency (RF) Engineer, without the need for a variance application.
- C. The proposed Zone Code Amendment does not hinder the General Plan goals and policies of preserving the City's small plot agricultural/animal-keeping/equestrian lifestyle since the subject amendment applies to commercial zones only.
- D. The proposed Zone Code Amendment is categorically exempt from the California Environmental Quality Act (CEQA) and the City of Norco Environmental Guidelines pursuant to Class 5 (Minor Alterations in Land Use Limitations).

NOW, THEREFORE, the City Council of the City of Norco does hereby approve as follows:

SECTION 1:

Chapter 18.57 Wireless Telecommunication Facility Regulations.

Section 18.57.10 General Regulations and Development Standards for Commercial Telecommunication Facilities.

- (2)d. The maximum height of any wireless telecommunication antenna tower facility shall be 50 feet. Applications requesting a height over 50 feet shall include a report prepared by a Radio Frequency (RF) Engineer justifying a height over 50 feet.

SECTION 2: EFFECTIVE DATE: This Ordinance shall become effective 30 days after final passage thereof.

SECTION 3: SEVERABILITY: If any section, subsection, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of the Ordinance. The Council hereby declares that it would have passed this Ordinance, and each section, subsection, sentence, clause, and phrase, hereof, irrespective of the fact that any one or more of the sections, subsections, sentences, clauses, or phrases hereof be declared invalid or unconstitutional.

SECTION 4: POSTING: The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall cause the same within 15 days of its passage to be posted at no less than five public places within the City of Norco.

Ordinance No. 976

July 16, 2014

Page 3

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

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Mayor of the City of Norco, California

ATTEST:

---

Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Norco, California, duly held on June 18, 2014 and thereafter at a regular meeting of said City Council duly held on July 16, 2014, it was duly passed and adopted by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on July 16, 2014.

---

Cheryl Link, City Clerk  
City of Norco, California

# CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Cheryl L. Link, City Clerk

DATE: July 16, 2014

SUBJECT: Discussion of the Letter from the Naval Weapons Station Seal Beach Detachment Norco to the State Historic Preservation Officer Regarding the National Register of Historic Places Eligibility Status of Properties at Detachment Norco.

RECOMMENDATION: Receive and File.

SUMMARY: On July 8, 2014, staff received a letter from the Naval Weapons Station Seal Beach Norco Detachment addressed to the Office of Historic Preservation regarding the National Register of Historic Places (NRHP) eligibility status of the Norconian.

The City Manager has prepared and sent a preliminary response to the State Historic Preservation Officer, requesting that the Office of Historic Preservation delay its findings on the Navy's survey until the City has completed its own independent survey and evaluation.

Cultural Resources Consultant Bill Wilkman will provide the Council with an overview of the letter.

Attachments: Letter from Naval Weapons Station Seal Beach Detachment Norco, dated July 8, 2014.  
Response Letter from Norco City Manager, dated July 10, 2014



DEPARTMENT OF THE NAVY  
NAVAL WEAPONS STATION SEAL BEACH  
800 SEAL BEACH BOULEVARD  
SEAL BEACH, CA 90740-5000

IN REPLY REFER TO  
5090  
Ser N45W/0089  
8 JUL 2014

Ms. Carol Roland-Nawi, Ph.D.  
State Historic Preservation Officer  
Office of Historic Preservation  
Attn: Tristan Tozer  
1725 23<sup>rd</sup> Street, Suite 100  
Sacramento, CA 95816

Dear Ms. Roland-Nawi,

SUBJECT: NAVAL WEAPONS STATION SEAL BEACH DETACHMENT NORCO  
CONTINUATION OF CONSULTATION UNDER USN101129B

The Navy is continuing consultation with your office, pursuant to 36 CFR 800.4, regarding the National Register of Historic Places (NRHP) eligibility status of properties at Detachment Norco. In conversations between your staff and our Regional Navy Historian, additional information for your consideration was requested. This letter includes a summary of the Navy's effort to consider and further address the potential to meet NRHP-eligibility for local significance of these properties during the World War II and Cold War-eras.

Inherently, the Navy's presence in Norco is associated with national or statewide themes such as naval medicine and Cold War R&D, which are not local concepts. When looking at the local context of Norco, it is a history that focuses on agriculture and rural development. Even today, Norco is a municipality that brands itself as "Horsetown USA" and "City Living in a Rural Atmosphere." Neither of these reflect the Navy's history or relationship to the locality. In fact, the Navy was drawn to Norco because the hotel, which experienced a significant downturn during the Great Depression, was available for purchase. The property offered a sizeable portion of land for wounded warrior rehabilitation. The City's own documentation focuses on the pre-1970s agricultural and hotel history. For example, the City's website states that "In 1941, the U.S. Navy bought the hotel and expanded it into a premier World War II-era hospital. Today, its grounds are divided between a weapons research facility and a state prison. Most of the resort remains intact, though, and its history and architecture have earned it a listing on the National Register of Historic Places. Today, local leaders and organizations like the Lake Norconian Club Foundation work to ensure its recognition and preservation."

. 8 JUL 2014

The Navy's historian has reviewed two historic context documents that provide extensive information and were developed by the City of Norco's preservation consultant, Bill Wilkman. The first document reviewed is the 2012 *Historic Resources Survey - Pre-1946* of the pre-Cold War period which identifies four historic contexts (periods): Indian and Spanish/Mexican Rancho Eras, Prior to 1848; Post-Mexican Rancho Era, 1849 - 1907; Citrus Belt Land Company Era, 1908 - 1922; and North Corona Land Company Era, 1923 - 1945. This latter period (covered in pages 38-84) further identify six sub-themes: Infrastructure, Natural Features, the Norco Townsite Tract, Manufacturing/Heavy Commercial Uses, Norco Farm Tracts, and the Norconian Resort Supreme. As such, this context is entirely focused on the rural development of Norco, from citrus farming, school, library, and commercial beginnings, and of course, the Norconian hotel, without any significant account of the Navy's impact beyond the national themes already discussed by the documentation submitted previously.

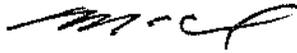
The second document reviewed, and which also contains extensive details, is the 2012 *Historic Resources Context Statement 1946-1966*. This context statement details six additional themes during this post-World War II period: Infrastructure, Semi-rural Lifestyle, Residential Development, Non-residential, Cityhood, and Norconian. Here, the Norconian theme discusses the re-use of the Norconian property, including the drawdown of the Naval Hospital after World War II and the city's efforts to retain this federal presence. According to a 1946 *Corona Daily Independent* article, "The U.S. Naval Hospital of Corona means much for the entire vicinity, Corona, Norco, Home Gardens, and other areas." (161) Neither the article nor the context, however, discuss particularly unique lasting impact of the Navy installation on the local community beyond the primarily economic benefits.

Based upon review and full consideration of the context documents and other relevant information, the Navy has not identified any local historical significance. In fact, it is difficult to support an argument that the Navy-specific facilities obtained local meaning and significance since these facilities, both as a hospital and then as a research facility, were closed to the general public. Therefore, these were not facilities where the town gathered, expressed themselves, or took on identity as Norconians. The Navy doubtlessly impacted Norco, but the Navy impacted every community it which it established an installation. For this reason, the Navy's impact on Norco was similar to its impact on other communities.

8 JUL 2014

The Navy respectfully requests your concurrence for the eligibility determinations of historic properties. If you have any questions, please contact Alex Bethke, Regional Cultural Resources Program Manager and historian, at (619) 532-4186 or alexander.bethke@navy.mil.

Sincerely,



M. H. HARDY  
Captain, U.S. Navy  
Commanding Officer

Copy to:

City of Norco  
2870 Clark Avenue  
Norco, CA 92860-1903

Lake Norconian Club Foundation  
P.O. Box 7672  
Norco, CA 92860-8089

Wilkman Historical Services  
P.O. Box 362  
Riverside, CA 92502-0362

National Trust for Historic Preservation  
Attn: Athea Hartig Ph.D., Director  
5 Third Street, Suite 707  
San Francisco, California 94103-3208

Advisory Council on Historic Preservation  
c/o: Katharine Kerr  
401 F Street NW, Suite 308  
Washington, DC 20001-2637

Naval Facilities Engineering Command  
Cultural Resources Management Program  
Attn: William Manley  
1322 Patterson Ave SE, Suite 1000  
Washington Navy Yard, D.C. 20374-5065



# CITY of NORCO

CITY HALL • 2870 CLARK AVENUE • NORCO CA 92860 • (951) 735-3900 • FAX (951) 270-5622

July 10, 2014

Ms. Carol Roland-Nawi, Ph.D  
State Historic Preservation Officer  
Office of Historic Preservation  
1725 23<sup>rd</sup> Street, Suite 100  
Sacramento, CA 95816

**SUBJECT: Navy Letter of July 8, 2014 Re: Local Level National Register Eligibility of Norconian**

Dear Dr. Roland-Nawi,

The City of Norco is in receipt of the attached letter from the Navy to you, dated July 8, 2014, in regards to the Local Level National Register eligibility of the Norconian for its World War II and Post World War II eras. We believe the Navy's determination of non-eligibility is based on a misinterpretation of the Pre-1946 and Post-1946 contexts prepared by the City's Cultural Resources Consultant, and the City Council has directed our consultant to prepare a reply detailing the City's concerns. You will be in receipt of this reply in the near future.

In the meantime, as we have noted in previous correspondence, the City is proceeding with an independent evaluation of the Norconian for its World War II and Post-World War II significance. This independent evaluation is funded completely with City monies and is being conducted by our Cultural Resources Consultant, Bill Wilkman of Wilkman Historical Services. This independent survey will address the qualification of the Norconian for National Register listing at all three levels.

The City has already submitted extensive comments on the Navy's survey and its subsequent addendum demonstrating numerous ways in which these reports are both incomplete and lacking in objectivity. We believe this resource is deserving of a fully comprehensive and objective evaluation and we intend to submit such an evaluation for direct comparison to the Navy's reports. As requested in several previous communications, we respectfully ask that you delay any finding on the Navy's survey and evaluation work until we have completed and submitted for your consideration our independent survey and evaluation. We look forward to hearing from you with an affirmation that you will honor our request.

## CITY COUNCIL

BERWIN HANNA  
Mayor

HERB HIGGINS  
Mayor Pro Tem

KATHY AZEVEDO  
Council Member

KEVIN BASH  
Council Member

GREG NEWTON  
Council Member

Letter to Ms. Carol Roland-Nawi, PhD,  
State Historic Preservation Officer  
Page 2  
July 10, 2014

The Norco City Council, at its meeting on Wednesday, July 16, 2014, will discuss the contents of the attached letter from the Navy and further responses to your office. I am open to discussing with you any and all aspects of our concerns regarding the Navy's survey and evaluation reports. Also, I would be most interested to share with you, the scope of work of the City's independent survey, including a time-frame for completion. In the meantime, the City will continue its independent survey effort and remain ready at your convenience to discuss our plans and concerns.

Please feel free to contact me at (951) 270-5611 or at [aokoro@ci.norco.ca.us](mailto:aokoro@ci.norco.ca.us).

Respectfully,



Andy Okoro, City Manager

cc: Norco City Council Members  
Bill Wilkman, Cultural Resources Consultant  
M.H. Hardy, Captain, U.S. Navy, Commanding Officer, Naval Weapons Station  
Seal Beach  
Lake Norconian Club Foundation  
National Trust for Historic Preservation  
Advisory Council on Historic Preservation  
Naval Facilities Engineering Command

## CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Steve King, Planning Director

DATE: July 16, 2014

SUBJECT: **Public Hearing:** Ordinance No. 977: Amending Chapter 18.13 "A-1 Zone" of the Norco Municipal Code to Increase the Minimum Lot Size from 20,000 Square Feet to 21,780 Net Square Feet. (Zone Code Amendment 2014-03)

RECOMMENDATION: Adopt for First Reading Ordinance No. 977, approving Zone Code Amendment 2014-03.

SUMMARY: Zone Code Amendment 2014-03 is an amendment directed by the City Council to adjust the minimum lot size requirement in the A-1-20 sub-zone from 20,000 square feet to 21,780 square feet net, a true half-acre. The Planning Commission reviewed the proposed Zone Code Amendment at its meeting on June 11, 2014 and adopted Resolution 2014-34 recommending approval to the City Council.

BACKGROUND: At its meeting on May 21, 2014 the City Council directed staff to process a zone code amendment to adjust the minimum lot size in the A-1 zone from 20,000 square feet to a true half acre (or 21,780 square feet net). The result will be that all new lots in the A-1 zone will have to be minimum 21,780 square feet after the dedication of street right-of-way. This new regulation would become effective for all newly-created lots in the A-1 zone including those associated with tentative maps already filed and in process.

In addition the Planning Commission made further recommendations for: 1) the minimum pad size; and 2) adding language to change the non-conforming status of lots created around the college campus that are that status because the minimum lot depth in the A-1 zone was increased to 200 feet after those lots were created.

The recommended minimum pad size for the new half-acre lots as recommended by the Planning Commission would be 19,600 square feet. After the effective date of the Ordinance the text amendment regarding minimum lot size and minimum pad size would be as follows:

#### 18.13.04 Sub-Zones of the A-1 Zone.

This zone shall be separated into sub-zones to delineate required minimum lot size. The sub-zone shall be identified by a numerical suffix after the "A-1" designation on the zoning map; and each and every area zoned A-1 in the City of Norco shall have a numerical suffix appended thereto. Said numerical suffixes shall designate the required minimum lot size in either thousands of feet, or in number of acres. Any numerical suffix of 20 or more shall mean thousands of square feet; any numerical suffix of less than 20 shall mean acres. For example:

A-1-20 = 20,000-square-foot minimum lot size (*\*see note below*);

A-1-2 = two-acre minimum lot size;

A-1-5 = five-acre minimum lot size; etc.

*\*A-1-20 shall refer to all lots created before the effective date of Ordinance No. \_\_\_\_\_ when the minimum lot size was 20,000 square feet, and to all lots created after the effective date of Ordinance No. \_\_\_\_\_ and the minimum lot size is 21,780 square feet net.*

#### 18.13.10 Lot and Pad Area.

All lots in this zone shall contain a minimum lot area as prescribed by the suffix applicable thereto; provided, that there shall be at least 20,000 square feet *for lots created prior to the effective date of Ordinance \_\_\_\_\_, or September 6, 2014. After the effective date of Ordinance \_\_\_\_\_ the minimum lot size shall be 21,780 net square feet* in all lots hereafter created, and no lot in this zone shall be reduced below this minimum. In addition, all lots created in this zone shall contain a minimum pad area of at least ~~48,000~~ *19,600* square feet. A pad area shall be "flat" with a percentage of slope not to exceed four percent.

For the existing and developed lots around the college that were created with Tract Map (TM) 23507 they are currently considered non-conforming lots. When TM 23507 was approved the minimum lot depth requirement was 150 feet and all of the lots met or exceeded that requirement. After the map was approved the lot depth was increased to 200 feet for all lots in the A-1 zone. Ordinance 695 created the 200-foot minimum lot depth requirement and placed all of the lots from TM 23507 in a non-conforming status. The Planning Commission recommended adding "date" language to the NMC such that it identifies those lots created prior to Ordinance 695 as conforming if the lots met the minimum lot depth requirement of 150 feet at the time.

After the effective date of this Ordinance the text amendment regarding the conforming status of lots with a minimum lot depth requirement of 150 feet when Ordinance 695 was adopted, would be as follows:

18.13.12 Lot Dimensions.

(1)	Width and Frontage:	Minimum width of 80 feet.
(2)	Cul-de-sac Lots:	Minimum average width of 80 feet and minimum frontage of not less than 50 feet.
(3)	Depth:	Minimum depth of 200 feet. <u>All lots that met the minimum lot depth requirement of 150 feet upon the effective date of Ordinance 695 (February 17, 1995) shall be considered to be in conformance with the minimum depth requirements of this zone.</u>

Attached: Ordinance No. 977

## ORDINANCE NO. 977

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NORCO APPROVING ZONE CODE AMENDMENT 2014-03 AMENDING CHAPTER 18.13 "A-1 ZONE AGRICULTURAL LOW DENSITY", WITH ANY RELATED CROSS-REFERENCES IN OTHER CHAPTERS AS NEEDED TO INCREASE THE MINIMUM LOT SIZE IN THE A-1 ZONE FROM 20,000 SQUARE FEET TO 21,780 SQUARE FEET NET. ZONE CODE AMENDMENT 2014-03.**

WHEREAS, the CITY OF NORCO initiated Zone Code Amendment 2014-03 to Norco Municipal Code Title 18, Chapter 18.13 "A-1" Zone, to increase the minimum lot size from 20,000 to 21,780 net square feet; and

WHEREAS, the Zone Code Amendment, was duly submitted to said City's Planning Commission for decision at a public hearing for which proper notice was given; and

WHEREAS, the Zone Code Amendment was scheduled for public hearing before the Planning Commission on June 11, 2014 on or about 7 p.m. in the Council Chambers at 2820 Clark Avenue, Norco, California 92860; and

WHEREAS, at the time set, the Planning Commission held a public hearing and received both oral and written testimony pertaining to the Zone Code Amendment; and

WHEREAS, the Planning Commission adopted Resolution 2014-34 recommending that the City Council approve Zone Code Amendment 2014-03; and

WHEREAS, the Zone Code Amendment was duly submitted to said City Council for decision at a public hearing for which proper notice was given; and

WHEREAS, the Zone Code Amendment was scheduled for a public hearing on July 16, 2014 on or about 7 p.m. in the Council Chambers at 2820 Clark Avenue, Norco, California 92860; and

WHEREAS, at the time set, the City Council received both oral and written testimony pertaining to the Zone Code Amendment; and

WHEREAS, the City of Norco acting as the Lead Agency has determined that the project is exempt from the California Environmental Quality Act (CEQA) and the City of Norco Environmental Guidelines per Class 5.

NOW, THEREFORE, the City Council of the City of Norco does hereby find as follows:

- A. The proposed Zone Code Amendment will not be inconsistent with, or contrary to, the General Plan or the Zoning Code since the project amends a specific regulation of the A-1 zone without changing the intent of the zone or the land uses allowed; and the change will not amend or impact the General Plan.
- B. The proposed Zone Code Amendment is categorically exempt from the California Environmental Quality Act (CEQA) and the City of Norco Environmental Guidelines pursuant to Class 5 (Minor Alterations in Land Use Limitations).

NOW, THEREFORE, the City Council of the City of Norco does hereby ordain as follows:

SECTION 1: Norco Municipal Code Title 18 “Zoning”, Chapter 18.13 – “A-1 Zone Agricultural Low Density”, Section 18.13.04 – “Sub-Zones of the A-1 Zone” is hereby amended to read as follows:

This zone shall be separated into sub-zones to delineate required minimum lot size. The sub-zone shall be identified by a numerical suffix after the “A-1” designation on the zoning map; and each and every area zoned A-1 in the City of Norco shall have a numerical suffix appended thereto. Said numerical suffixes shall designate the required minimum lot size in either thousands of feet, or in number of acres. Any numerical suffix of 20 or more shall mean thousands of square feet; any numerical suffix of less than 20 shall mean acres. For example:

A-1-20 = 20,000-square-foot minimum lot size (\*see note below);

A-1-2 = two-acre minimum lot size;

A-1-5 = five-acre minimum lot size; etc.

\*A-1-20 shall refer to all lots created before the effective date of Ordinance No. 977 when the minimum lot size was 20,000 square feet, and to all lots created after the effective date of Ordinance No. 977 and the minimum lot size is 21,780 square feet net.

Norco Municipal Code Title 18 “Zoning”, Chapter 18.13 – “A-1 Zone Agricultural Low Density”, Section 18.13.10 – “Lot and Pad Area” is hereby amended to read as follows:

All lots in this zone shall contain a minimum lot area as prescribed by the suffix applicable thereto; provided that there shall be at least 20,000 square feet for lots created prior to the effective date of Ordinance No. 977, on September 6, 2014. After the effective date of Ordinance No. 977, the

minimum lot size shall be 21,780 net square feet in all lots created and no lot in this zone shall be reduced below this minimum. In addition, all lots created in this zone shall contain a minimum pad area of at least 19,600 square feet. A pad area shall be "flat" with a percentage of slope not to exceed four percent.

Norco Municipal Code Title 18 "Zoning", Chapter 18.13 – "A-1 Zone Agricultural Low Density", Section 18.13.12 – "Lot Dimensions" is hereby amended to read as follows:

All lots shall maintain the following minimum standards:

(1)	Width and Frontage:	Minimum width of 80 feet.
(2)	Cul-de-sac Lots:	Minimum average width of 80 feet and minimum frontage of not less than 50 feet.
(3)	Depth:	Minimum depth of 200 feet. All lots that met the minimum lot depth requirement of 150 feet upon the effective date of Ordinance 695 (February 17, 1995) shall be considered to be in conformance with the minimum depth requirements of this zone.

**SECTION 2: EFFECTIVE DATE:** This Ordinance shall become effective 30 days after final passage thereof.

**SECTION 3: SEVERABILITY:** If any section, subsection, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of the Ordinance. The Council hereby declares that it would have passed this Ordinance, and each section, subsection, sentence, clause, and phrase, hereof, irrespective of the fact that any one or more of the sections, subsections, sentences, clauses, or phrases hereof be declared invalid or unconstitutional.

**SECTION 4: POSTING:** The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall cause the same within 15 days of its passage to be posted at no less than five public places within the City of Norco.

Ordinance No. 977

August 6, 2014

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PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on August 6, 2014.

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Mayor of the City of Norco, California

ATTEST:

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Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Norco, California, duly held on July 16, 2014 and thereafter at a regular meeting of said City Council duly held on August 6, 2014, it was duly passed and adopted by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on August 6, 2014.

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Cheryl Link, City Clerk  
City of Norco, California

## **CITY OF NORCO STAFF REPORT**

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Dominic C. Milano, City Engineer

DATE: July 16, 2014

SUBJECT: **Public Hearing:** Ordering the Continuation of Landscape Maintenance Districts and Confirming a Diagram and Assessment and Providing for an Annual Assessment Levy for Districts No. 1 - Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28626; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk’s Crest, Tract 30230

Resolution No. 2014-44, (Beazer); Resolution No. 2014-45, (Western Pacific); Resolution No. 2014-46, (Centex); Resolution No. 2014-47, (Norco Ridge Ranch); Resolution No. 2014-48, (Hawk’s Crest), Ordering the Continuation of a Landscaping Maintenance District and Confirming a Diagram and Assessment and Providing for Annual Assessment Levy.

RECOMMENDATION: That the City Council opens the Public Hearing and if no more than 50 percent of the property owners within the District protest, it would be appropriate to adopt Resolution No. 2014-44, (Beazer); Resolution No. 2014-45, (Western Pacific); Resolution No. 2014-46, (Centex); Resolution No. 2014-47, (Norco Ridge Ranch); Resolution No. 2014-48, (Hawk’s Crest), Ordering the Continuation of a Landscaping Maintenance District and Confirming a Diagram and Assessment and Providing for Annual Assessment Levy.

SUMMARY: The “Landscaping and Lighting Act of 1972 requires that an Engineer’s Report for existing landscape maintenance districts (LMDs) must be reviewed and approved annually to continue assessments for the districts. The formation of the five districts allow for an annual increase not to exceed the Consumer Price Index (CPI). The CPI ending March 31, 2014 adjustment per parcel assessment in all districts is 1.6%.

**PUBLIC HEARING:** Ordering the Continuation of Landscape Maintenance District No. 1 - Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28626; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk’s Crest, Tract 30230

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July 16, 2014

This year’s Engineer’s Report includes the estimated fund balance for Fiscal Year ending June 30, 2014 and the cash flow funding needs. Each district requires a 6 month cash flow reserve to sustain the District from the beginning of the fiscal year (July 1) until the City receives from the County of Riverside, its first assessment payment, 6 months later. If the City does not have this reserve, the general fund reserves must “carry” the District. In addition the “needs” includes those Districts that have trail fencing (Districts 2 thru 5) a line item establishing a dollar amount to reconstruct the majority of the trail fencing in each District. The “estimated unfunded needs” is the difference between the “fund balance” and the “needs”.

**BACKGROUND/ANALYSIS:** The following information applies to each Landscape Maintenance District as designated:

**LMD No. 1** - On February 3, 1999, City Council adopted Landscape Maintenance District No. 1 for Tract 28765 (Beazer Homes) comprised of 67 lots. The District was formed to maintain landscaping along the River Road frontage of the tract. The estimated cost to maintain the District is proposed to be increased from \$9,239.00 the 2012/13 level to \$9,730.00. With the application of previous year’s surpluses and a CPI increase (\$2.10 per parcel), the net assessment will be \$8,929.76. The per parcel assessment for Fiscal Year 2014/15 is proposed to increase from \$131.18 to \$133.28.

**LMD No. 2** - On January 27, 2000, City Council adopted Landscape Maintenance District No. 2 for Tract No. 25779 (Western Pacific) comprised of 219 lots. The District was formed to maintain landscaping along the Norco Hills Road and Hidden Valley Parkway frontages of the tract as well as selected interior slopes, wetland, equestrian trail, and parkway maintenance. The estimate of cost to maintain the District is proposed to increase from \$112,045.00 to \$131,453.00. The maintenance level for the equestrian trails is proposed to return but only to a level necessary to maintain them to safe standard. In the early years, after the formation of the District, a surplus in the fund was used to balance the budget with the assessment collected. This surplus has been exhausted a number of years ago with the City loaning the District \$50,900.00 to meet expenses. This City General Fund Loan has been reduced to \$13,384.00 but at the expense of trail maintenance. With the application of the CPI of 1.6%, per parcel the assessment is proposed to increase from \$601.88 to \$611.51, which allows for a general fund loan repayment of \$2,468.00 thus reducing the loan to \$10,916.00. Staff will be meeting with the property owners within the District to discuss a Prop 218 hearing to raise the assessment for future years sustain a trail and slope maintenance level to City standards.

**LMD No. 3** - On June 6, 2001, City Council adopted Landscape Maintenance District No. 3 for Tract 28626 (Centex) comprised of 82 lots. The District was formed to

**PUBLIC HEARING:** Ordering the Continuation of Landscape Maintenance District No. 1 - Beazer, Tract 28765; No. 2 – Western Pacific, Tract 25779; No. 3 – Centex, Tract 28626; No. 4 – Norco Ridge Ranch, Tracts 29588 and 29589; and No. 5 – Hawk’s Crest, Tract 30230

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July 16, 2014

maintain landscaping along Norco Hills Road and certain designated slopes within the District as well as all equestrian trails in the development. The proposed estimate of costs to maintain the District will increase from \$75,728.94 to \$83,537.00. With the application of previous year’s surpluses and the CPI increase (\$14.54 per parcel), the total net assessment will be \$75,281.74. The per parcel assessment for Fiscal Year 2014/15 is proposed to increase from \$908.98 to \$923.52.

**LMD No. 4** – On October 2, 2002, City Council adopted Landscape Maintenance District No. 4 for Tracts 29588 and 29589 (Norco Ridge Ranch) comprised of 557 single-family developed lots, of which 25 lots are receiving benefits only trail maintenance benefits, and five other underdeveloped lots, for a total of 562 assessable lots. The District was formed to maintain landscaping within certain slopes, irrigated and non-irrigated, fuel modification areas, parkway landscaping, equestrian trails, natural open space and wetlands area. The proposed budget for Fiscal Year 2014-15 is \$529,952.00 of which \$75,000.00 is for year two of the annual trail fence replacement program and \$20,000.00 is for drainage enhancement (Phase III, approximately 10 locations). Fiscal Year 2013/14 budget was \$514,094.00 which included \$75,000.00 for the first year of the trail fence replacement project. City staff has recommended that two years of trail fence replacement be combined into one large project to reduce administrative costs and to receive the best possible unit pricing. The first year of funding \$75,000 for Trail Fence Replacement remains in the fund. With the application of a 1.6% CPI, the per lot assessment will increase from \$958.40 to \$973.73 per year. At least 6 years ago, the assessment for the 25 lots (Tract 29588-1) in the Mt. Shasta area was reduced to zero since these lots were separated from Norco Ridge Ranch by Ingalls Park, there are no slopes adjacent to the tract being maintained by the District and trail maintenance was not being done. Trail maintenance is now being undertaken by the City’s maintenance contractor and the trail fencing is included in the “replacement program”. The cost of trail maintenance and fence replacement equates to an annual assessment of \$286.67 per lot. The proposed levy for all of the 562 parcels generates a total district assessment of \$530,059.76, which is \$108.00 over the proposed budget of \$529,952.00. At the end of this Fiscal Year 2013/14, it is estimated that the Fund Balance will be approximately \$331,308.00 which includes trail maintenance reserve (\$25,000.00) and the first year trail fence capital project (\$75,000.00).

**LMD No. 5** – On January 7, 2004 City Council adopted Landscape District No. 5 for Tract 30230 (Hawks Crest) comprised of 50 lots. The District was formed to maintain certain exterior slopes, parkway landscaping, equestrian trails and the two park lots. The estimate of cost to maintain the District will increase from \$46,321.00 to \$47,927.00. The maximum allowable assessment from the previous year’s level of \$1,006.40 year is proposed to increase by the March 2014 CPI of 1.6% (\$16.10 per



## **RESOLUTION NO. 2014-44**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO, CALIFORNIA ORDERING THE CONTINUATION OF A LANDSCAPING MAINTENANCE DISTRICT AND CONFIRMING A DIAGRAM AND ASSESSMENT AND PROVIDING FOR ANNUAL ASSESSMENT LEVY**

WHEREAS, the City Council of the City of Norco, California, has initiated proceedings for the continuation of a Landscape Maintenance District and the annual levy of said assessments for said District pursuant to the terms and provisions of the "Landscaping and Street Lighting Act of 1972," being Division 15, Part 2 of the Streets and Highways Code of the State of California, in a district known and designated as:

#### **CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 1 (BEAZER, TRACT 28765)**

(hereinafter referred to as the "District"); and

WHEREAS, the City Council has ordered the preparation of a report and the City Engineer has prepared and filed with this City Council a report pursuant to law for its consideration and subsequently thereto this City Council did adopt its Resolution of Intent to levy and collect assessments for the next ensuing fiscal year relating to the above-referenced District, and further did proceed to give notice of the time and place for a Public Hearing on all matters relating thereto; and,

WHEREAS, at this time this City Council has heard all testimony and evidence, has tabulated all protests received, and desires to proceed with the annual levy of assessments.

NOW, THEREFORE, BE IT RESOLVED as follows:

SECTION 1: That the above recitals are all true and correct.

SECTION 2: That upon conclusion of the Public Hearing, protests submitted in opposition to continuation of the District filed, and not withdrawn, did not represent property owners more than 50 percent of the area of assessable land within the District, and all protests are overruled and denied.

SECTION 3: That this City Council hereby confirms the diagram and assessment as submitted and orders the annual levy of the assessment for the fiscal year and in the amounts as set forth in the Engineer's Report and as referred to in the Resolution of Intent as previously adopted relating to said annual assessment levy.

SECTION 4: That the diagram and assessment as set forth and contained in said Report are hereby confirmed and adopted by this City Council.

SECTION 5: That the adoption of this Resolution constitutes the levy of the assessment for the fiscal year.

SECTION 6: That the estimates of costs, the assessment diagram, the assessments and all other matters, as set forth in the Engineer's Report, pursuant to said "Landscaping and Street Lighting Act of 1972", as submitted, are hereby approved, adopted by this City Council and hereby confirmed.

SECTION 7: That the maintenance works and/or improvements are contemplated by the Resolution of Intent shall be performed pursuant to law and the County Auditor shall enter on the County Assessment Roll the amount of the assessment and said assessment shall then be collected at the same time and in the same manner that County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of said City.

SECTION 8: That the City Treasurer has previously established a special fund known as the CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 1, (BEAZER, TRACT NO. 28765) into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and law and including any surplus amounts in those funds established for the existing Districts and said transfer shall be made and accomplished soon as said monies have been made available to said City Treasurer.

SECTION 9: That the City Engineer is hereby ordered and directed to file a certified copy of the diagram and assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

SECTION 10: That a certified copy of the assessment and diagram shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

Resolution No. 2014-44, Beazer  
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July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

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Mayor of the City of Norco, California

ATTEST:

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Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014, by the following vote of the City Council:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand affixed the official seal of the City of Norco, California, held on July 16, 2014.

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Cheryl Link, City Clerk  
City of Norco, California

## **RESOLUTION NO. 2014-45**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO ORDERING THE CONTINUATION OF A LANDSCAPING MAINTENANCE DISTRICT AND CONFIRMING A DIAGRAM AND ASSESSMENT AND PROVIDING FOR ANNUAL ASSESSMENT LEVY**

WHEREAS, The City Council has initiated proceedings for the continuation of a Landscaping Maintenance District and the annual levy of assessments for said District pursuant to the terms and provision of the "Landscaping and Street Lighting Act of 1972," being Part 2 of Division 15 of the Streets and Highways Code of the State of California, in a district known and designated as:

#### **CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC, TRACT 25779)**

WHEREAS, the City Council has ordered the preparation of a report and the City Engineer has prepared and filed with this City Council a report pursuant to law for its consideration and subsequently thereto this City Council did adopt its Resolution of Intention to levy and collect assessments for the next ensuing fiscal year relating to the above-referenced District, and further did proceed to give notice of the time and place for a Public Hearing on all matters relating thereto; and,

WHEREAS, at this time, this City Council has heard all testimony and evidence, has tabulated all protests received, and desires to proceed with the annual levy of assessments.

NOW, THEREFORE, BE IT RESOLVED as follows:

SECTION 1. That the above-recitals are all true and correct.

SECTION 2. That upon the conclusion of the Public Hearing, protests submitted in opposition to continuation of the District filed, and not withdrawn, did not represent property owners owning more than fifty percent (50%) of the area of assessable land within the District, and all protests are overruled and denied.

SECTION 3. That this City Council hereby confirms the diagram and assessment as submitted and orders the annual levy of the assessment for the fiscal year and in the amounts as set forth in the Engineer's Report and as referred to in the Resolution of Intention as previously adopted relating to said annual assessment levy.

SECTION 4. That the diagram and assessment as set forth and contained in said Report are hereby confirmed and adopted by this City Council.

SECTION 5. That the adoption of this Resolution constitutes the levy of the assessment for the fiscal year.

SECTION 6. That the estimates of costs, the assessment diagram, the assessments and all other matters, as set forth in Engineer's "Report," pursuant to said "Landscaping and Street Lighting Act of 1972," as submitted, are hereby approved, adopted by this City Council and hereby confirmed.

SECTION 7. That the maintenance works and/or improvements contemplated by the Resolution of Intention shall be performed pursuant to law and the County Auditor shall enter on the County Assessment Roll the amount of the assessment and said assessment shall then be collected at the same time and in the same manner as the County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of said City.

SECTION 8. That the City Treasurer has previously established a special fund known as the CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 2, (WESTERN PACIFIC, TRACT 25779) into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and law and including any surplus amounts in those funds established for the existing Districts and said transfer shall be made and accomplished as soon as said monies have been made available to said City Treasurer.

SECTION 9. That the City Engineer is hereby ordered and directed to file a certified copy of the diagram and assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

SECTION 10. That a certified copy of the assessment and diagram shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

PASSED and ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

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Mayor of the City of Norco, California

ATTEST:

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Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014, by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California on July 16, 2014.

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Cheryl Link, City Clerk  
City of Norco, California

## **RESOLUTION NO. 2014-46**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO, CALIFORNIA ORDERING THE CONTINUATION OF A LANDSCAPING MAINTENANCE DISTRICT AND CONFIRMING A DIAGRAM AND ASSESSMENT AND PROVIDING FOR ANNUAL ASSESSMENT LEVY**

WHEREAS, the City Council of the City of Norco, California, has initiated proceedings for the continuation of a Landscape Maintenance District and the annual levy of said assessments for said District pursuant to the terms and provisions of the "Landscaping and Street Lighting Act of 1972," being Division 15, Part 2 of the Streets and Highways Code of the State of California, in a district known and designated as:

#### **CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 3 (CENTEX, TRACT 28626)**

(hereinafter referred to as the "District"); and

WHEREAS, the City Council has ordered the preparation of a report and the City Engineer has prepared and filed with this City Council a report pursuant to law for its consideration and subsequently thereto this City Council did adopt its Resolution of Intent to levy and collect assessments for the next ensuing fiscal year relating to the above-referenced District, and further did proceed to give notice of the time and place for a Public Hearing on all matters relating thereto; and,

WHEREAS, at this time this City Council has heard all testimony and evidence, has tabulated all protests received, and desires to proceed with the annual levy of assessments.

NOW, THEREFORE, BE IT RESOLVED as follows:

SECTION 1: That the above recitals are all true and correct.

SECTION 2: That upon conclusion of the Public Hearing, protests submitted in opposition to continuation of the District filed, and not withdrawn, did not represent property owners more than 50 percent of the area of assessable land within the District, and all protests are overruled and denied.

SECTION 3: That this City Council hereby confirms the diagram and assessment as submitted and orders the annual levy of the assessment for the fiscal year and in the amounts as set forth in the Engineer's Report and as referred to in the Resolution of Intent as previously adopted relating to said annual assessment levy.

SECTION 4: That the diagram and assessment as set forth and contained in said Report are hereby confirmed and adopted by this City Council.

SECTION 5: That the adoption of this Resolution constitutes the levy of the assessment for the fiscal year.

SECTION 6: That the estimates of costs, the assessment diagram, the assessments and all other matters, as set forth in the Engineer's Report, pursuant to said "Landscaping and Street Lighting Act of 1972", as submitted, are hereby approved, adopted by this City Council and hereby confirmed.

SECTION 7: That the maintenance works and/or improvements are contemplated by the Resolution of Intent shall be performed pursuant to law and the County Auditor shall enter on the County Assessment Roll the amount of the assessment and said assessment shall then be collected at the same time and in the same manner that County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of said City.

SECTION 8: That the City Treasurer has previously established a special fund known as the CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 3, (CENTEX, TRACT NO. 28626) into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and law and including any surplus amounts in those funds established for the existing Districts and said transfer shall be made and accomplished soon as said monies have been made available to said City Treasurer.

SECTION 9: That the City Engineer is hereby ordered and directed to file a certified copy of the diagram and assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

SECTION 10: That a certified copy of the assessment and diagram shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

Resolution No. 2014-46, Centex  
Page 3  
July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

---

Mayor of the City of Norco, California

ATTEST:

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Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014, by the following vote of the City Council:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand affixed the official seal of the City of Norco, California, held on July 16, 2014.

---

Cheryl Link, City Clerk  
City of Norco, California

## **RESOLUTION NO. 2014-47**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO ORDERING THE CONTINUATION OF A LANDSCAPING MAINTENANCE DISTRICT AND CONFIRMING A DIAGRAM AND ASSESSMENT AND PROVIDING FOR ANNUAL ASSESSMENT LEVY**

WHEREAS, The City Council has initiated proceedings for the continuation of a Landscaping Maintenance District and the annual levy of assessments for said District pursuant to the terms and provision of the "Landscaping and Street Lighting Act of 1972," being Part 2 of Division 15 of the Streets and Highways Code of the State of California, in a district known and designated as:

#### **CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 4 (NORCO RIDGE RANCH, TRACT 29588 AND 29589)**

WHEREAS, the City Council has ordered the preparation of a report and the City Engineer has prepared and filed with this City Council a report pursuant to law for its consideration and subsequently thereto this City Council did adopt its Resolution of Intention to levy and collect assessments for the next ensuing fiscal year relating to the above-referenced District, and further did proceed to give notice of the time and place for a Public Hearing on all matters relating thereto; and,

WHEREAS, at this time, this City Council has heard all testimony and evidence, has tabulated all protests received, and desires to proceed with the annual levy of assessments.

NOW, THEREFORE, BE IT RESOLVED as follows:

SECTION 1. That the above-recitals are all true and correct.

SECTION 2. That upon the conclusion of the Public Hearing, protests submitted in opposition to continuation of the District filed, and not withdrawn, did not represent property owners owning more than fifty percent (50%) of the area of assessable land within the District, and all protests are overruled and denied.

SECTION 3. That this City Council hereby confirms the diagram and assessment as submitted and orders the annual levy of the assessment for the fiscal year and in the amounts as set forth in the Engineer's Report and as referred to in the Resolution of Intention as previously adopted relating to said annual assessment levy.

SECTION 4. That the diagram and assessment as set forth and contained in said Report are hereby confirmed and adopted by this City Council.

SECTION 5. That the adoption of this Resolution constitutes the levy of the assessment for the fiscal year.

SECTION 6. That the estimates of costs, the assessment diagram, the assessments and all other matters, as set forth in Engineer's "Report," pursuant to said "Landscaping and Street Lighting Act of 1972," as submitted, are hereby approved, adopted by this City Council and hereby confirmed.

SECTION 7. That the maintenance works and/or improvements contemplated by the Resolution of Intention shall be performed pursuant to law and the County Auditor shall enter on the County Assessment Roll the amount of the assessment and said assessment shall then be collected at the same time and in the same manner as the County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of said City.

SECTION 8. That the City Treasurer has previously established a special fund known as the CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 4, (NORCO RIDGE RANCH, TRACT 29588 AND 29589) into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and law and including any surplus amounts in those funds established for the existing Districts and said transfer shall be made and accomplished as soon as said monies have been made available to said City Treasurer.

SECTION 9. That the City Engineer is hereby ordered and directed to file a certified copy of the diagram and assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

SECTION 10. That a certified copy of the assessment and diagram shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

PASSED and ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

---

Mayor of the City of Norco, California

ATTEST:

---

Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014, by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California on July 16, 2014.

---

Cheryl Link, City Clerk  
City of Norco, California

## **RESOLUTION NO. 2014-48**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO, CALIFORNIA ORDERING THE CONTINUATION OF A LANDSCAPING MAINTENANCE DISTRICT AND CONFIRMING A DIAGRAM AND ASSESSMENT AND PROVIDING FOR ANNUAL ASSESSMENT LEVY**

WHEREAS, the City Council of the City of Norco, California, has initiated proceedings for the continuation of a Landscape Maintenance District and the annual levy of said assessments for said District pursuant to the terms and provisions of the "Landscaping and Street Lighting Act of 1972," being Division 15, Part 2 of the Streets and Highways Code of the State of California, in a district known and designated as:

#### **CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 5 (HAWKS CREST – KB HOME)**

(hereinafter referred to as the "District"); and

WHEREAS, the City Council has ordered the preparation of a report and the City Engineer has prepared and filed with this City Council a report pursuant to law for its consideration and subsequently thereto this City Council did adopt its Resolution of Intent to levy and collect assessments for the next ensuing fiscal year relating to the above-referenced District, and further did proceed to give notice of the time and place for a Public Hearing on all matters relating thereto; and,

WHEREAS, at this time this City Council has heard all testimony and evidence, has tabulated all protests received, and desires to proceed with the annual levy of assessments.

NOW, THEREFORE, BE IT RESOLVED as follows:

SECTION 1: That the above recitals are all true and correct.

SECTION 2: That upon conclusion of the Public Hearing, protests submitted in opposition to continuation of the District filed, and not withdrawn, did not represent property owners more than 50 percent of the area of assessable land within the District, and all protests are overruled and denied.

SECTION 3: That this City Council hereby confirms the diagram and assessment as submitted and orders the annual levy of the assessment for the fiscal year and in the amounts as set forth in the Engineer's Report and as referred to in the Resolution of Intent as previously adopted relating to said annual assessment levy.

SECTION 4: That the diagram and assessment as set forth and contained in said Report are hereby confirmed and adopted by this City Council.

SECTION 5: That the adoption of this Resolution constitutes the levy of the assessment for the fiscal year.

SECTION 6: That the estimates of costs, the assessment diagram, the assessments and all other matters, as set forth in the Engineer's Report, pursuant to said "Landscaping and Street Lighting Act of 1972", as submitted, are hereby approved, adopted by this City Council and hereby confirmed.

SECTION 7: That the maintenance works and/or improvements are contemplated by the Resolution of Intent shall be performed pursuant to law and the County Auditor shall enter on the County Assessment Roll the amount of the assessment and said assessment shall then be collected at the same time and in the same manner that County taxes are collected. After collection by said County, the net amount of the assessment shall be paid to the City Treasurer of said City.

SECTION 8: That the City Treasurer has previously established a special fund known as the CITY OF NORCO LANDSCAPING MAINTENANCE DISTRICT NO. 5, (HAWKS CREST – KB HOME) into which the City Treasurer shall place all monies collected by the Tax Collector pursuant to the provisions of this Resolution and law and including any surplus amounts in those funds established for the existing Districts and said transfer shall be made and accomplished soon as said monies have been made available to said City Treasurer.

SECTION 9: That the City Engineer is hereby ordered and directed to file a certified copy of the diagram and assessment roll with the County Auditor, together with a certified copy of this Resolution upon its adoption.

SECTION 10: That a certified copy of the assessment and diagram shall be filed in the office of the City Engineer, with a duplicate copy on file in the Office of the City Clerk and open for public inspection.

Resolution No. 2014-48, Hawks Crest – KB Home  
Page 3  
July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

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Mayor of the City of Norco, California

ATTEST:

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Cheryl Link, City Clerk  
City of Norco, California

I, CHERYL LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014, by the following vote of the City Council:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand affixed the official seal of the City of Norco, California, held on July 16, 2014.

---

Cheryl Link, City Clerk  
City of Norco, California

**ENGINEER'S REPORT**

**FOR**

**LANDSCAPE MAINTENANCE DISTRICT NO. 1 (BEAZER)**

**FISCAL YEAR 2014-2015**

**PREPARED FOR THE**

**CITY OF NORCO**

**RIVERSIDE COUNTY, CALIFORNIA**

**PREPARED BY:**

**DOMINIC C. MILANO, P.E.**

**CITY ENGINEER**

**ENGINEER'S REPORT  
CITY OF NORCO**

**LANDSCAPE MAINTENANCE DISTRICT NO. 1 (BEAZER)  
FISCAL YEAR 2014-2015**

The undersigned respectfully submits the enclosed report as directed by the City Council.

Date: \_\_\_\_\_, 2014

By: \_\_\_\_\_  
Dominic C. Milano, P.E.  
R.C.E. No. 27172  
City Engineer

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Norco, California, on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

**FISCAL YEAR 2014-2015  
CITY OF NORCO**

**ENGINEER'S REPORT PREPARED PURSUANT TO THE PROVISIONS OF THE  
LANDSCAPING AND LIGHTING ACT OF 1972 SECTION 22500 THROUGH  
22679 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE**

Pursuant to Part 2 of Division 15 of the Streets and Highways Code of the State of California, and in accordance with the Resolution of Initiation, being Resolution No. 98-97, adopted by the Council of the City of Norco, State of California, in connection with the proceedings for:

**CITY OF NORCO  
LANDSCAPING MAINTENANCE DISTRICT NO. 1 (BEAZER)**

Hereinafter referred to as the "Assessment District," I, Dominic C. Milano, P.E. authorized representative of the City of Norco, the duly appointed ENGINEER OF WORK, submit herewith the "Report" consisting of four parts as follows:

**PART A**

Plans and specifications for the improvements are as set forth herein and are on file in the Office of the Clerk of the City.

**PART B**

An estimate of cost of the proposed improvements, including incidental costs and expenses in connection therewith, is as set forth herein.

**PART C**

The Diagram of the Assessment District Boundaries showing the exterior boundaries of the Assessment District, the boundaries of any zones within the Assessment District, and the lines and dimensions of each lot or parcel of land within the Assessment District has been submitted to the Clerk of the City. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside for the year when this Report was prepared. The Assessor's maps and records are incorporated by reference herein and made part of this Report. The legal description of the Assessment District is attached hereto.

**PART D**

An assessment of the estimated cost of the improvements on each benefited lot or parcel of land within the Assessment District.

**PART A**

**PLANS AND SPECIFICATIONS**

**DESCRIPTION OF IMPROVEMENTS  
FOR THE CITY OF NORCO  
LANDSCAPE MAINTENANCE DISTRICT NO. 1 (BEAZER)  
FISCAL YEAR 2014-2015**

The improvements are the operation, maintenance, and servicing of landscaping, wetlands, horse trails, hardscaping, and masonry, and appurtenant facilities including but not limited to personnel, electrical energy, utilities such as water, materials, contracting services, and other items necessary for the satisfactory operation of these services, described as follows:

**LANDSCAPING**

Landscaping, planting, shrubbery, trees, irrigation, hardscapes, masonry wall surfaces, fixtures, and appurtenant facilities in the River Road public right-of-way (parkway area), along the frontage and adjacent to the proposed boundary of said Assessment District. A reduced scale plan depicting the improvements is attached hereto.



### IRRIGATION LEGEND

Symbol	Description
(Circle with cross)	Valve
(Circle with dot)	Well
(Circle with 'A')	Flowmeter
(Circle with 'B')	Regulation Controller
(Circle with 'C')	Point of Connection
(Circle with 'D')	Regulation Controller
(Circle with 'E')	Point of Connection
(Circle with 'F')	Regulation Controller
(Circle with 'G')	Point of Connection
(Circle with 'H')	Regulation Controller
(Circle with 'I')	Point of Connection
(Circle with 'J')	Regulation Controller
(Circle with 'K')	Point of Connection
(Circle with 'L')	Regulation Controller
(Circle with 'M')	Point of Connection
(Circle with 'N')	Regulation Controller
(Circle with 'O')	Point of Connection
(Circle with 'P')	Regulation Controller
(Circle with 'Q')	Point of Connection
(Circle with 'R')	Regulation Controller
(Circle with 'S')	Point of Connection
(Circle with 'T')	Regulation Controller
(Circle with 'U')	Point of Connection
(Circle with 'V')	Regulation Controller
(Circle with 'W')	Point of Connection
(Circle with 'X')	Regulation Controller
(Circle with 'Y')	Point of Connection
(Circle with 'Z')	Regulation Controller

**NOTE:**

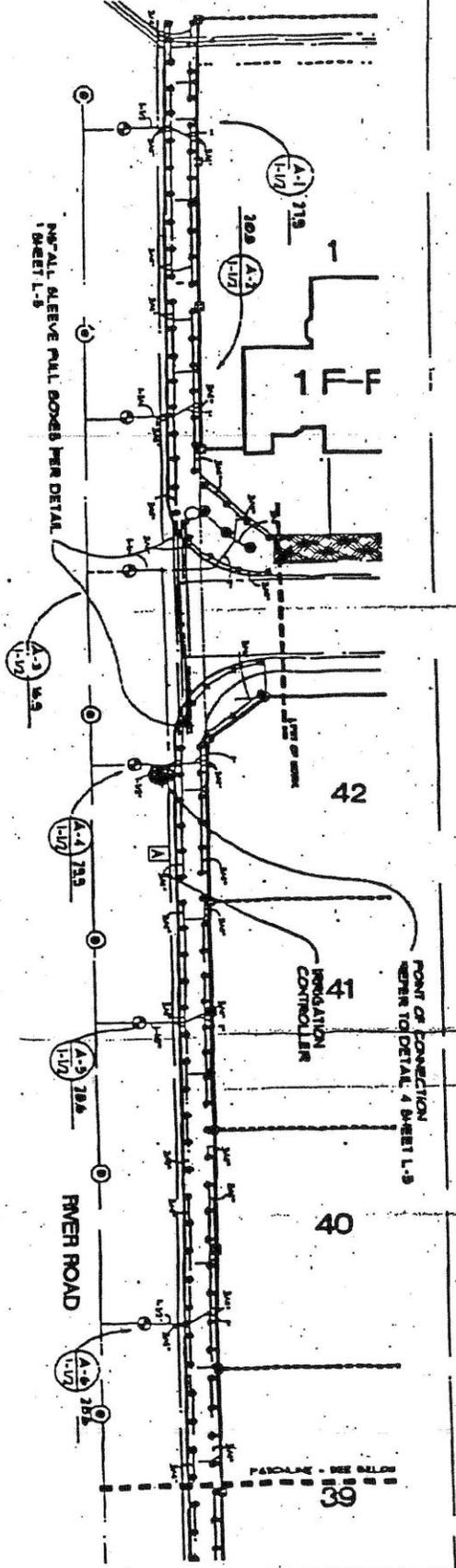
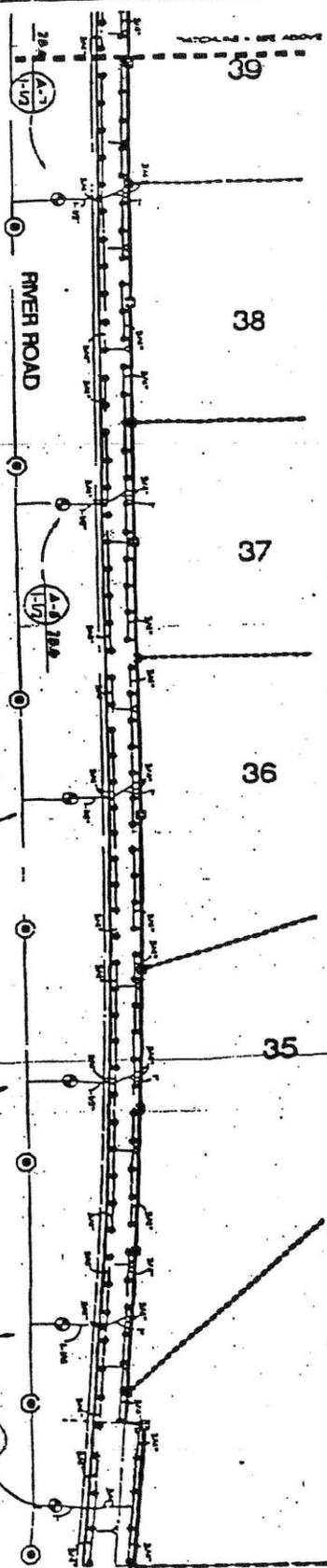
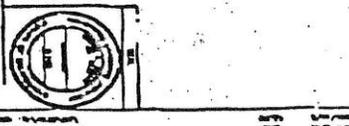
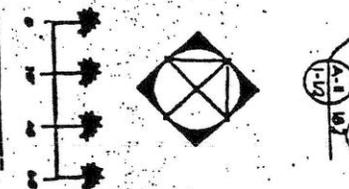
1. All valves and flowmeters shall be installed in a trench, protecting them from frost.
2. The control lines shall be installed in a trench, protecting them from frost.
3. The control lines shall be installed in a trench, protecting them from frost.
4. The control lines shall be installed in a trench, protecting them from frost.
5. The control lines shall be installed in a trench, protecting them from frost.
6. The control lines shall be installed in a trench, protecting them from frost.
7. The control lines shall be installed in a trench, protecting them from frost.
8. The control lines shall be installed in a trench, protecting them from frost.
9. The control lines shall be installed in a trench, protecting them from frost.
10. The control lines shall be installed in a trench, protecting them from frost.

### VALVE / A-11 FLOW = 113.9

Valve No.	Flow (GPM)	Flow (MGD)
1	113.9	0.001
2	113.9	0.001
3	113.9	0.001
4	113.9	0.001
5	113.9	0.001
6	113.9	0.001
7	113.9	0.001
8	113.9	0.001
9	113.9	0.001
10	113.9	0.001

**DIG ALERT**

Call 800-4-A-ALERT



**PART B**

**ESTIMATE OF COST**

**LANDSCAPE MAINTENANCE DISTRICT NO. 1  
(BEAZER)  
NORCO, CALIFORNIA  
(FUND NO. 53100)**

The estimated costs for the operation, maintenance and servicing of the facilities, shown below, are the estimated costs of maintenance if the facilities were fully maintained for Fiscal Year 2014-2015. The 1972 Act provides that the total cost of the maintenance and services, together with incidental expenses, may be financed from the assessment proceeds. The incidental expenses may include engineering fees, legal fees, printing, mailing, postage, publishing, and all other related costs identified with district proceedings.

*Direct Cost*

Contractual Maintenance (34100)		
1 Landscape Maintenance: includes all pruning, weed and pest control, fertilization, turf care, trash and debris cleanup, irrigation to include maintenance and repair, water cost, electrical cost for controllers, tree trimming up to 15 feet, tree staking, backflow testing, rodent control and plant replacements.	\$ 2,867.00	
2 Hardscape Masonry: including graffiti removal, repair cracks, heaving and breakage.	\$ -	
3 Equestrian Trails: No Trails		N.A.
Utilities (33100)		
Water	\$ 3,651.00	
Electrical	\$ 172.00	
Phone	\$ 157.00	
Annual Tree Replacement (32405)	\$ -	
Subtotal Direct Cost	\$ 6,847.00	\$ 6,847.00
Operating Contingency (10 percent)		\$ 685.00
Replacement Reserve (2.9 percent)		\$ 199.00
Administrative Costs		
Observation: City Staff to Manage District (30105)	\$ 1,484.00	
Engineer's Report (34110)	\$ 1,400.00	
City Overhead/Administration (34135)	\$ 577.00	
Riverside County Admin. Fees (35210)	\$ 150.00	
Incidentals (30405)	\$ -	
Subtotal Administrative Costs	\$ 3,611.00	\$ 3,611.00
Operating Reserve		\$ -
Annual Capital Project		\$ -
<b>TOTAL ANNUAL BUDGET</b>		<b>\$ 11,342.00</b>

The 1972 Act requires that a special fund to set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purpose as stated herein. The City may advance funds to the District, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on July 1 must be carried over to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 and cash flow funding needs are as follows:

Fund Balance

Estimated Beginning Fund Balance July 1, 2014	\$ 15,296.00
Add Back Assessment for Future Trail Fence Replacement	\$ 0.00
Estimated Current Year Revenue Surplus (Deficit)	\$ (2,412.00)
Estimated Fund Balance June 30, 2015	\$ 12,884.00

Estimated Fund Balance Needs:

Needed for Future Trail Fence Replacement - 10 Years of 15 Year Useful Life	\$ 0.00
2013-2014 Budgeted Trail Fence Replacement Capital Project	\$ 0.00
6 Months Operating Cash Flow	\$ 5,671.00
Estimated Needs	\$ 5,671.00

Estimated Surplus or (Unfunded Needs): \$ 7,213.00

Total Replacement Cost for Trail Fence (0 Lineal Ft @ \$9.00/LF)	\$ 0.00
Annual Set-Aside for Budgeted Trail Fence Replacement Should be (15 YR Cycle)	\$ 0.00

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District.

***PART C***

***ASSESSMENT DIAGRAM***

An Assessment Diagram for the Assessment District is on file in the office of the City Clerk. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside, for the year when this Report was prepared, and are incorporated by reference herein and made a part of this Report. A reduced scale map depicting the assessment diagram is attached hereto. Also attached as Exhibit "A" is the Legal Description of Assessment District.

***EXHIBIT A***

***LEGAL DESCRIPTION  
LANDSCAPE MAINTENANCE DISTRICT NO. 1 (BEAZER)***

That certain real property situated in the City of Norco, County of Riverside, State of California, more particularly described as follows:

Lots 1 through 12 inclusive, and Lots 14 through 68, inclusive, of Tract No. 28765 in the City of Norco, County of Riverside, State of California, as per map recorded in Book 274, Pages 95 through 98, inclusive, of Maps in the Office of the County Recorder of Said County.



**BEAZER TR 28785**

**LEGEND**

-  LOCATION OF IMPROVEMENTS
-  COMMON AREA

**RKA**  
**CONSULTING GROUP**  
 388 S. LEMON CREEK DRIVE SUITE E WALNUT CA 91798  
 (909) 594-9702 • (626) 331-8323 • FAX (909) 594-2658  
 WWW.RKAGROUP.COM

LANDSCAPE MAINTENANCE DISTRICT  
**ZONE 1**  
**CITY OF NORCO**

DATE: <b>6/6/13</b>	SCALE: <b>1" = 300'</b>	DRAWN BY: <b>FAOUN</b>	SHEET: <b>1 OF 1</b>
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**PART D**

**ASSESSMENT**

WHEREAS, on February 3, 1999, the City Council of the City of Norco, California, pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the California Streets and Highways Code (the "Act") adopted its Resolution of the City Council of the City of Norco Initiating Proceedings for the Formation for a Maintenance Assessment District and thereafter formed Landscape Maintenance District No. 1 (Beazer) (the "District") as more particularly described in said proceedings; and

WHEREAS, said resolution directed the undersigned to prepare and file a report pursuant to Section 22565, et seq., of said Act;

WHEREAS, at this time, this City Council is desirous to provide for the annual levy of assessments for the territory within the District for the next ensuing fiscal year, to provide for the costs and expenses necessary for continual maintenance of improvements within said District; and

NOW, THEREFORE, the undersigned, by virtue of the power vested in me under said Act and the order of the City Council of said City, hereby makes the following assessment to cover the portion of the estimated cost of the maintenance of said improvements and the costs and expenses incidental thereto to be paid by said District.

The amount to be paid for the maintenance of said improvement, and the expenses incidental thereto, are as follows:

	(1) As Filed	(2) As Preliminarily Approved	(3) As Finally Approved
Cost of Maintenance	\$ 6,847.00	\$	\$
Incidental Expenses	\$ 4,495.00	\$	\$
Total Cost	\$ 11,342.00	\$	\$
Surplus or (Deficit) from Previous Fiscal Year	\$ 2,412.00	\$	\$
NET TO BE ASSESSED FOR FISCAL YEAR 2014-2015	\$ 8,930.00	\$	\$

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. The Annual CPI ending March 31, 2014 was 1.6%. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District. The application of this CPI will increase the per parcel assessment from \$131.18 to \$133.28 for a total District levy of \$8,929.76.

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purposes as stated herein. A contribution to the District by the City may be made to reduce assessments, as the City Council deems appropriate. Any balance remaining on July 1 must be carried over to the

next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 is \$15,296.00.

As required by said Act, a diagram is hereto attached showing the exterior boundaries of said District. The lines and dimensions of each lot or parcel of land within the said District as the same existed at the time of the passage of said resolution are as shown on the maps of the County Assessor of the County of Riverside. Reference is hereby made to said maps and said maps shall govern for all details concerning the lines and dimensions of such lots and parcels.

I do hereby assess the net amount to be assessed upon all assessable lots or parcels of land within said District by apportioning that amount among the several lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the maintenance of said improvements, and more particularly set forth in the list hereto attached and by reference made a part hereof.

Said assessment is made upon the several lots or parcels of land within the District in proportion to the estimated benefits to be received by said lots or parcels, respectively, from the maintenance of said improvements. The diagram and the assessor's map are the documents to which reference is hereby made for a more particular description of said property.

Each lot or parcel of land assessed is described in the assessment list by reference to its parcel number as shown on the Assessor's Maps of the County of Riverside for the Fiscal Year 2013-2014 and includes all of such parcel. For a more particular description of said property, reference is hereby made to the deeds and maps on file and of record in the office of the County Recorder of said County.

City of Norco

Dated: \_\_\_\_\_, 2014

\_\_\_\_\_  
Dominic C. Milano, P.E.  
City Engineer

## **EXHIBIT B**

### **METHOD AND FORMULA OF ASSESSMENT SPREAD**

The law requires and the statutes provide that assessments, as levied pursuant to the provisions of the "Landscaping and Lighting Act of 1972," must be based on the benefit that the properties receive from the works of improvement. The statute does not specify the method or formula that should be used in any special assessment district proceedings. The Assessment Engineer is appointed for the purpose of making an analysis of the facts and determining the correct apportionment of the assessment obligation. For these proceedings, the City has based its determination on standard assessment practices utilized by consulting civil engineers with a background of experience in the design of such works of improvement and experience in the completion of assessment district formation projects.

#### **IDENTIFYING THE BENEFIT**

First of all, it is necessary to identify the benefit that the public improvement will render to the properties within the Assessment District. The landscaping, irrigation, and equestrian trails have been designed and will be constructed for the benefit of enhanced aesthetics and neighborhood identity for all properties within the Assessment District.

#### **APPORTIONMENT OF COSTS**

In further making the analysis, it is necessary that the property owners receive a special and direct benefit distinguished from that of the general public. In this case, several factors are being used in the final method and spread and assessment.

The individual parcels of land within the Assessment District are currently developed or have the potential for development to single family residential units. The proposed improvements are designed to enhance the appearance and appeal of the District and all of the parcels within. The improvements will provide a sense of neighborhood identity for the District. As such, each parcel will benefit equally from the proposed improvements.

In conclusion, it is my opinion that the assessments for the referenced Assessment District have been spread in direct accordance with the benefits that each parcel receives from the works of improvements.

**LIST OF ASSESSMENTS  
LANDSCAPE MAINTENANCE DISTRICT NO. 1 (BEAZER)  
FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
1	\$133.28		45	\$133.28	
2	\$133.28		46	\$133.28	
3	\$133.28		47	\$133.28	
4	\$133.28		48	\$133.28	
5	\$133.28		49	\$133.28	
6	\$133.28		50	\$133.28	
7	\$133.28		51	\$133.28	
8	\$133.28		52	\$133.28	
9	\$133.28		53	\$133.28	
10	\$133.28		54	\$133.28	
11	\$133.28		55	\$133.28	
12	\$133.28		56	\$133.28	
13	Open Space		57	\$133.28	
14	\$133.28		58	\$133.28	
15	\$133.28		59	\$133.28	
16	\$133.28		60	\$133.28	
17	\$133.28		61	\$133.28	
18	\$133.28		62	\$133.28	
19	\$133.28		63	\$133.28	
20	\$133.28		64	\$133.28	
21	\$133.28		65	\$133.28	
22	\$133.28		66	\$133.28	
23	\$133.28		67	\$133.28	
24	\$133.28		68	\$133.28	
25	\$133.28				
26	\$133.28				
27	\$133.28				
28	\$133.28				
29	\$133.28				
30	\$133.28				
31	\$133.28				
32	\$133.28				
33	\$133.28				
34	\$133.28				
35	\$133.28				
36	\$133.28				
37	\$133.28				
38	\$133.28				
39	\$133.28				
40	\$133.28				
41	\$133.28				
42	\$133.28				
43	\$133.28				
44	\$133.28				

**TOTAL TO BE ASSESSED: \$ 8,929.76**

**ENGINEER'S REPORT**

**FOR**

**LANDSCAPE MAINTENANCE DISTRICT NO. 2  
(WESTERN PACIFIC – TRACT 25779)**

**FISCAL YEAR 2014-2015**

**PREPARED FOR THE**

**CITY OF NORCO**

**RIVERSIDE COUNTY, CALIFORNIA**

**PREPARED BY:**

**DOMINIC C. MILANO, P.E.**

**CITY ENGINEER**

**ENGINEER'S REPORT  
CITY OF NORCO**

**LANDSCAPE MAINTENANCE DISTRICT NO. 2  
(WESTERN PACIFIC – TRACT 25779)  
FISCAL YEAR 2014-2015**

The undersigned respectfully submits the enclosed report as directed by the City Council.

Date: \_\_\_\_\_, 2014

By:

\_\_\_\_\_  
Dominic C. Milano, P.E.  
R.C.E. No. 27172  
City Engineer

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Norco, California, on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

**FISCAL YEAR 2014-2015  
CITY OF NORCO**

**ENGINEER'S REPORT PREPARED PURSUANT TO THE PROVISIONS OF THE  
LANDSCAPING AND LIGHTING ACT OF 1972 SECTION 22500 THROUGH  
22679 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE**

Pursuant to Part 2 of Division 15 of the Streets and Highways Code of the State of California, and in accordance with the Resolution of Initiation, being Resolution No. 98-97, adopted by the Council of the City of Norco, State of California, in connection with the proceedings for:

**CITY OF NORCO  
LANDSCAPING MAINTENANCE DISTRICT NO. 2  
(WESTERN PACIFIC – TRACT 25779)**

Hereinafter referred to as the "Assessment District," I, Dominic C. Milano, P.E. authorized representative of the City of Norco, the duly appointed ENGINEER OF WORK, submit herewith the "Report" consisting of four parts as follows:

**PART A**

Plans and specifications for the improvements are as set forth herein and are on file in the Office of the Clerk of the City.

**PART B**

An estimate of cost of the proposed improvements, including incidental costs and expenses in connection therewith, is as set forth herein.

**PART C**

The Diagram of the Assessment District Boundaries showing the exterior boundaries of the Assessment District, the boundaries of any zones within the Assessment District, and the lines and dimensions of each lot or parcel of land within the Assessment District has been submitted to the Clerk of the City. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside for the year when this Report was prepared. The Assessor's maps and records are incorporated by reference herein and made part of this Report. The legal description of the Assessment District is attached hereto.

**PART D**

An assessment of the estimated cost of the improvements on each benefited lot or parcel of land within the Assessment District.

**PART A**

**PLANS AND SPECIFICATIONS**

**DESCRIPTION OF IMPROVEMENTS  
FOR THE CITY OF NORCO  
LANDSCAPE MAINTENANCE DISTRICT NO. 2  
(WESTERN PACIFIC – TRACT 25779)  
FISCAL YEAR 2014-2015**

The improvements are the operation, maintenance, and servicing of landscaping, wetlands, horse trails, hardscaping, and masonry, and appurtenant facilities including but not limited to personnel, electrical energy, utilities such as water, materials, contracting services, and other items necessary for the satisfactory operation of these services, described as follows:

**LANDSCAPING**

Landscaping, planting, shrubbery, trees, irrigation, hardscapes, masonry wall surfaces, fixtures, and appurtenant facilities located within public right-of-way (parkways), easements (slope and trail) and publicly owned parcels within the boundary of the Assessment District except as specifically excluded.

**PART B**  
**ESTIMATE OF COST**  
**LANDSCAPE MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC)**  
**NORCO, CALIFORNIA (FUND NO. 53105)**

The estimated costs for the operation, maintenance and servicing of the facilities, shown below, are the estimated costs of maintenance if the facilities were fully maintained for Fiscal Year 2014-2015. The 1972 Act provides that the total cost of the maintenance and services, together with incidental expenses, may be financed from the assessment proceeds. The incidental expenses may include engineering fees, legal fees, printing, mailing, postage, publishing, and all other related costs identified with district proceedings.

*Direct Cost*

Contractual Maintenance (34100)		
1 Landscape Maintenance: includes all pruning, weed and pest control, fertilization, turf care, trash and debris cleanup, irrigation to include maintenance and repair, water cost, electrical cost for controllers, tree trimming up to 15 feet, tree staking, backflow testing, rodent control and plant replacement.	\$ 39,037.00	
2 Slope Maintenance: includes same activities as Item 1 for exterior slopes along Hidden Valley Parkway and Norco Hills Road as well as private slopes adjacent to wetlands area at Lots 77, 78, 89, 90, 91. (Cost included in Item No. 1)	\$ -	
3 Parkway Maintenance: includes all pruning, weed and pest control, fertilization, ground cover, trash and debris cleanup, irrigation to include maintenance and repair, backflow testing, rodent control and plant replacement. (Cost included in Item No. 1)		
4 Equestrian Trails: includes minor grading, replacement of wooden posts and rails, and addition of decomposed granite for trail surface.	\$ 5,000.00	
5 Maintenance of Wetland (Lot 71): trash and debris cleanup, plant replacement, pest and rodent control.	\$ 500.00	
6 Park Maintenance (Lot 2): trash and debris cleanup, mowing, fertilization, turf care, pest and rodent control, and observation.	\$ 8,760.00	
Utilities (33100)		
Water	\$ 53,104.00	
Electrical	\$ 5,760.00	
Phone	\$ 232.00	
Annual Tree Replacement (32405)	\$ -	
Subtotal Direct Cost	\$ 112,393.00	\$ 112,393.00
Operating Contingency (1.5 percent max)		\$ 1,124.00
Replacement Reserve (2.0 percent) (Not funded)		\$ -
Administrative Costs		
Observation: City Staff to Manage District (30100)	\$ 7,420.00	
Engineer's Report (34110)	\$ 2,500.00	
City Overhead/Administration (34135)	\$ 7,786.00	
Riverside County Admin. Fees (35210)	\$ 230.00	
Incidentals (30405)	\$ -	
Subtotal Administrative Costs	\$ 17,936.00	\$ 17,936.00
Operating Reserve		\$ -
Annual Capital Project		\$ -
<b>TOTAL ANNUAL BUDGET</b>		<b>\$ 131,453.00</b>

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purpose as stated herein. The City may advance funds to the District, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on July 1 must be carried over to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 and cash flow funding needs are as follows:

Fund Balance	
Estimated Beginning Fund Balance July 1, 2014	\$ (13,384.00)
Add Back Assessment for Future Trail Fence Replacement	\$ 0.00
Estimated Current Year Revenue Surplus/(Deficit)	<u>\$ 2,468.00</u>
Estimated Fund Balance June 30, 2015	\$ (10,916.00)
Estimated Fund Balance Needs:	
Needed for Future Trail Fence Replacement - 10 Years of 15 Year Useful Life	\$ 91,800.00
2013-2014 Budgeted Trail Fence Replacement Capital Project	\$ 0.00
6 Months Operating Cash Flow	<u>\$ 65,677.00</u>
Estimated Needs	<u>\$ 157,477.00</u>
Estimated Surplus (Unfunded Needs):	<u><u>\$ (168,393.00)</u></u>

Total Replacement Cost for Trail Fence (15,300 Lineal Ft @ \$9.00/LF)	\$ 137,700.00
Annual Set-Aside for Budgeted Trail Fence Replacement Should be (15 YR Cycle)	\$ 9,180.00

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District.

***PART C***

***ASSESSMENT DIAGRAM***

An Assessment Diagram for the Assessment District is on file in the office of the City Clerk. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside, for the year when this Report was prepared, and are incorporated by reference herein and made a part of this Report. A reduced scale map depicting the assessment diagram is attached hereto. Also attached as Exhibit "A" is the Legal Description of Assessment District.

**EXHIBIT A**

**LEGAL DESCRIPTION  
LANDSCAPE MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC)**

That certain real property situated in the City of Norco, County of Riverside, State of California, more particularly described as follows:

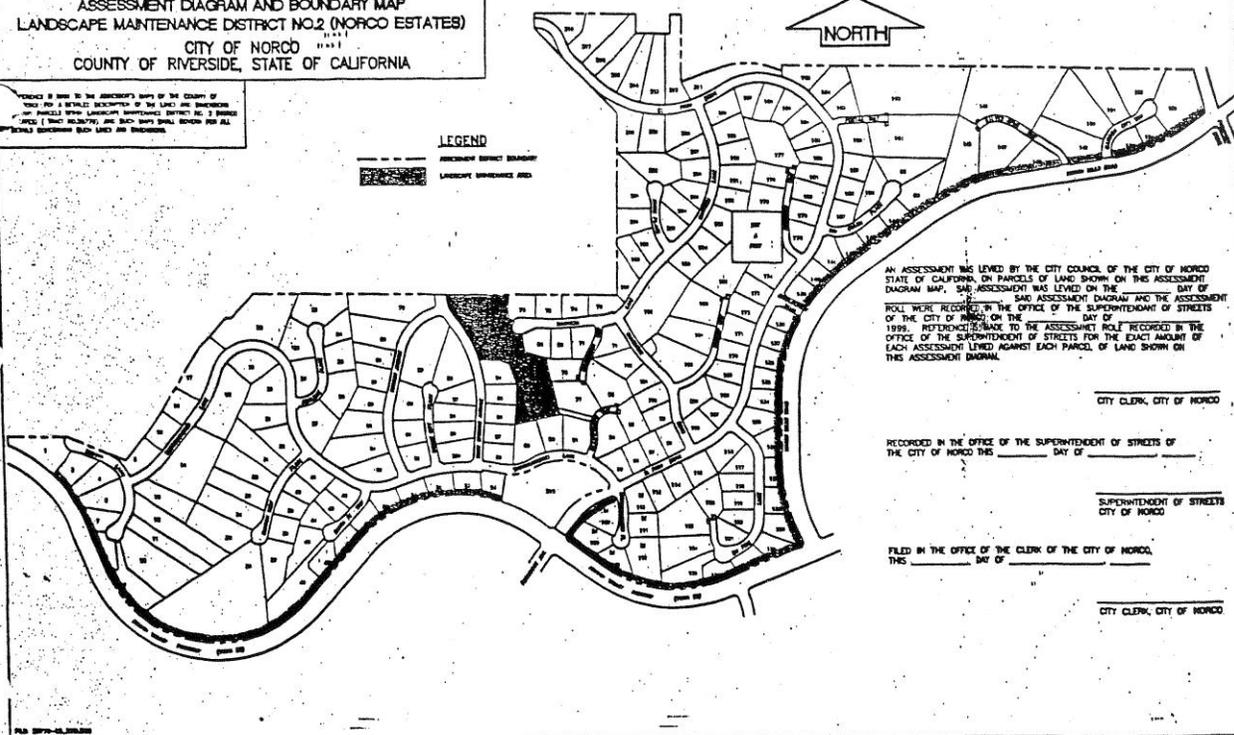
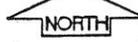
Lots 3 through 70 inclusive, and Lots 72 through 221, exclusive of Lot 219, of Tract No. 25779 in the City of Norco, County of Riverside, State of California, as per map recorded in Book 284, Pages 20 through 30, inclusive, of Maps in the Office of the County Recorder of Said County.

ASSESSMENT DIAGRAM AND BOUNDARY MAP  
 LANDSCAPE MAINTENANCE DISTRICT NO.2 (NORCO ESTATES)  
 CITY OF NORCO  
 COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

REFER TO THE ASSessor's MAPS OF THE COUNTY OF RIVERSIDE FOR A DETAILED DESCRIPTION OF THE LANDS AND PARCELS WITHIN LANDSCAPE MAINTENANCE DISTRICT NO. 2 PARCEL (TRACT MAPS), AND EACH YEAR SHALL BECOME THE OFFICIAL SOURCE FOR ALL OFFICIAL BUSINESS AND LAND RECORDS.

LEGEND

- ASSESSMENT DISTRICT BOUNDARY
- LANDSCAPE MAINTENANCE AREA



AN ASSESSMENT WAS LEVIED BY THE CITY COUNCIL OF THE CITY OF NORCO STATE OF CALIFORNIA, ON PARCELS OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM MAP, SAID ASSESSMENT WAS LEVIED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_\_\_ SAID ASSESSMENT DIAGRAM AND THE ASSESSMENT ROLL WERE RECORDED IN THE OFFICE OF THE SUPERINTENDANT OF STREETS OF THE CITY OF NORCO ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_\_\_. REFERENCES MAKE TO THE ASSESSMENT ROLL RECORDED IN THE OFFICE OF THE SUPERINTENDENT OF STREETS FOR THE EXACT AMOUNT OF EACH ASSESSMENT LEVIED AGAINST EACH PARCEL OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM.

\_\_\_\_\_  
 CITY CLERK, CITY OF NORCO

RECORDED IN THE OFFICE OF THE SUPERINTENDENT OF STREETS OF THE CITY OF NORCO THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_  
 SUPERINTENDENT OF STREETS  
 CITY OF NORCO

FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NORCO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_  
 CITY CLERK, CITY OF NORCO

**PART D**

**ASSESSMENT**

WHEREAS, on October 20, 1999, the City Council of the City of Norco, California, pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the California Streets and Highways Code (the "Act") adopted its Resolution of the City Council of the City of Norco Initiating Proceedings for the Formation for a Maintenance Assessment District and thereafter formed Landscape Maintenance District No. 2 (Western Pacific) (the "District") as more particularly described in said proceedings; and

WHEREAS, said resolution directed the undersigned to prepare and file a report pursuant to Section 22565, et seq., of said Act;

WHEREAS, at this time, this City Council is desirous to provide for the annual levy of assessments for the territory within the District for the next ensuing fiscal year, to provide for the costs and expenses necessary for continual maintenance of improvements within said District; and

NOW, THEREFORE, the undersigned, by virtue of the power vested in me under said Act and the order of the City Council of said City, hereby makes the following assessment to cover the portion of the estimated cost of the maintenance of said improvements and the costs and expenses incidental thereto to be paid by said District.

The amount to be paid for the maintenance of said improvement, and the expenses incidental thereto, are as follows:

	(1) As Filed	(2) As Preliminarily Approved	(3) As Finally Approved
Cost of Maintenance	\$ 112,393.00	\$ _____	\$ _____
Incidental Expenses	\$ 19,060.00	\$ _____	\$ _____
Total Cost	\$ 131,453.00	\$ _____	\$ _____
Payment of G.F. Loan	\$ 2,468.00	\$ _____	\$ _____
NET TO BE ASSESSED FOR FISCAL YEAR 2014-2015	\$ 133,921.00	\$ _____	\$ _____

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index (CPI) applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District. The Annual CPI ending March 31, 2014 was 1.6%. The application of this CPI will increase the per parcel assessment from \$601.88 to \$611.51, for a District wide levy of \$133,921.10.

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purposes as stated herein. A contribution to the District by the City may be made to reduce assessments, as the City Council deems appropriate. Any balance remaining on July 1 must be carried over to the

next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 is a deficit of \$13,384.00.

As required by said Act, a diagram is hereto attached showing the exterior boundaries of said District. The lines and dimensions of each lot or parcel of land within the said District as the same existed at the time of the passage of said resolution are as shown on the maps of the County Assessor of the County of Riverside. Reference is hereby made to said maps and said maps shall govern for all details concerning the lines and dimensions of such lots and parcels.

I do hereby assess the net amount to be assessed upon all assessable lots or parcels of land within said District by apportioning that amount among the several lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the maintenance of said improvements, and more particularly set forth in the list hereto attached and by reference made a part hereof.

Said assessment is made upon the several lots or parcels of land within the District in proportion to the estimated benefits to be received by said lots or parcels, respectively, from the maintenance of said improvements. The diagram and the assessor's map are the documents to which reference is hereby made for a more particular description of said property.

Each lot or parcel of land assessed is described in the assessment list by reference to its parcel number as shown on the Assessor's Maps of the County of Riverside for the Fiscal Year 2013-2014 and includes all of such parcel. For a more particular description of said property, reference is hereby made to the deeds and maps on file and of record in the office of the County Recorder of said County.

City of Norco

Dated: \_\_\_\_\_, 2014

\_\_\_\_\_  
Dominic C. Milano, P.E.  
City Engineer

## **EXHIBIT B**

### **METHOD AND FORMULA OF ASSESSMENT SPREAD**

The law requires and the statutes provide that assessments, as levied pursuant to the provisions of the "Landscaping and Lighting Act of 1972," must be based on the benefit that the properties receive from the works of improvement. The statute does not specify the method or formula that should be used in any special assessment district proceedings. The Assessment Engineer is appointed for the purpose of making an analysis of the facts and determining the correct apportionment of the assessment obligation. For these proceedings, the City has based its determination on standard assessment practices utilized by consulting civil engineers with a background of experience in the design of such works of improvement and experience in the completion of assessment district formation projects.

#### **IDENTIFYING THE BENEFIT**

First of all, it is necessary to identify the benefit that the public improvement will render to the properties within the Assessment District. The landscaping, irrigation, and equestrian trails have been designed and will be constructed for the benefit of enhanced aesthetics and neighborhood identity for all properties within the Assessment District.

#### **APPORTIONMENT OF COSTS**

In further making the analysis, it is necessary that the property owners receive a special and direct benefit distinguished from that of the general public. In this case, several factors are being used in the final method and spread and assessment.

The individual parcels of land within the Assessment District are currently developed or have the potential for development to single family residential units. The proposed improvements are designed to enhance the appearance and appeal of the District and all of the parcels within. The improvements will provide a sense of neighborhood identity for the District. As such, each parcel will benefit equally from the proposed improvements.

In conclusion, it is my opinion that the assessments for the referenced Assessment District have been spread in direct accordance with the benefits that each parcel receives from the works of improvements.

**LIST OF ASSESSMENTS  
LANDSCAPE MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC)  
FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
3	\$611.51		46	\$611.51	
4	\$611.51		47	\$611.51	
5	\$611.51		48	\$611.51	
6	\$611.51		49	\$611.51	
7	\$611.51		50	\$611.51	
8	\$611.51		51	\$611.51	
9	\$611.51		52	\$611.51	
10	\$611.51		53	\$611.51	
11	\$611.51		54	\$611.51	
12	\$611.51		55	\$611.51	
13	\$611.51		56	\$611.51	
14	\$611.51		57	\$611.51	
15	\$611.51		58	\$611.51	
16	\$611.51		59	\$611.51	
17	\$611.51		60	\$611.51	
18	\$611.51		61	\$611.51	
19	\$611.51		62	\$611.51	
20	\$611.51		63	\$611.51	
21	\$611.51		64	\$611.51	
22	\$611.51		65	\$611.51	
23	\$611.51		66	\$611.51	
24	\$611.51		67	\$611.51	
25	\$611.51		68	\$611.51	
26	\$611.51		69	\$611.51	
27	\$611.51		70	\$611.51	
28	\$611.51		71	\$611.51	
29	\$611.51		72	\$611.51	
30	\$611.51		73	\$611.51	
31	\$611.51		74	\$611.51	
32	\$611.51		75	\$611.51	
33	\$611.51		76	\$611.51	
34	\$611.51		77	\$611.51	
35	\$611.51		78	\$611.51	
36	\$611.51		79	\$611.51	
37	\$611.51		80	\$611.51	
38	\$611.51		81	\$611.51	
39	\$611.51		82	\$611.51	
40	\$611.51		83	\$611.51	
41	\$611.51		84	\$611.51	
42	\$611.51		85	\$611.51	
43	\$611.51		86	\$611.51	
44	\$611.51		87	\$611.51	
45	\$611.51				

**LANDSCAPE MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC)  
FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
88	\$611.51		132	\$611.51	
89	\$611.51		133	\$611.51	
90	\$611.51		134	\$611.51	
91	\$611.51		135	\$611.51	
92	\$611.51		136	\$611.51	
93	\$611.51		137	\$611.51	
94	\$611.51		138	\$611.51	
95	\$611.51		139	\$611.51	
96	\$611.51		140	\$611.51	
97	\$611.51		141	\$611.51	
98	\$611.51		142	\$611.51	
99	\$611.51		143	\$611.51	
100	\$611.51		144	\$611.51	
101	\$611.51		145	\$611.51	
102	\$611.51		146	\$611.51	
103	\$611.51		147	\$611.51	
104	\$611.51		148	\$611.51	
105	\$611.51		149	\$611.51	
106	\$611.51		150	\$611.51	
107	\$611.51		151	\$611.51	
108	\$611.51		152	\$611.51	
109	\$611.51		153	\$611.51	
110	\$611.51		154	\$611.51	
111	\$611.51		155	\$611.51	
112	\$611.51		156	\$611.51	
113	\$611.51		157	\$611.51	
114	\$611.51		158	\$611.51	
115	\$611.51		159	\$611.51	
116	\$611.51		160	\$611.51	
117	\$611.51		161	\$611.51	
119	\$611.51		163	\$611.51	
120	\$611.51		164	\$611.51	
121	\$611.51		165	\$611.51	
122	\$611.51		166	\$611.51	
123	\$611.51		167	\$611.51	
124	\$611.51		168	\$611.51	
125	\$611.51		169	\$611.51	
126	\$611.51		170	\$611.51	
127	\$611.51		171	\$611.51	
128	\$611.51				
129	\$611.51				
130	\$611.51				
131	\$611.51				

**LANDSCAPE MAINTENANCE DISTRICT NO. 2 (WESTERN PACIFIC)  
FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
172	\$611.51		216	\$611.51	
173	\$611.51		217	\$611.51	
174	\$611.51		218	\$611.51	
175	\$611.51		219	\$611.51	
176	\$611.51		220	\$611.51	
177	\$611.51		221	\$611.51	
178	\$611.51				
179	\$611.51				
180	\$611.51				
181	\$611.51				
182	\$611.51				
183	\$611.51				
184	\$611.51				
185	\$611.51				
186	\$611.51				
187	\$611.51				
188	\$611.51				
189	\$611.51				
190	\$611.51				
191	\$611.51				
192	\$611.51				
193	\$611.51				
194	\$611.51				
195	\$611.51				
196	\$611.51				
197	\$611.51				
198	\$611.51				
199	\$611.51				
200	\$611.51				
201	\$611.51				
202	\$611.51				
203	\$611.51				
204	\$611.51				
206	\$611.51				
207	\$611.51				
208	\$611.51				
209	\$611.51				
210	\$611.51				
211	\$611.51				
212	\$611.51				
213	\$611.51				
214	\$611.51				
215	\$611.51				

**TOTAL TO BE ASSESSED IS \$133,920.71**

**ENGINEER'S REPORT**

**FOR**

**LANDSCAPE MAINTENANCE DISTRICT NO. 3  
(CENTEX- TRACT 28626)**

**FISCAL YEAR 2014-2015**

**PREPARED FOR THE**

**CITY OF NORCO**

**RIVERSIDE COUNTY, CALIFORNIA**

**PREPARED BY:**

**DOMINIC C. MILANO, P.E.**

**CITY ENGINEER**

**ENGINEER'S REPORT  
CITY OF NORCO**

**LANDSCAPE MAINTENANCE DISTRICT NO. 3  
(CENTEX – TRACT 28626)  
FISCAL YEAR 2014-2015**

The undersigned respectfully submits the enclosed report as directed by the City Council.

Date: \_\_\_\_\_, 2014

By: \_\_\_\_\_  
Dominic C. Milano, P.E.  
R.C.E. No. 27172  
City Engineer

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Norco, California, on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

**FISCAL YEAR 2014-2015  
CITY OF NORCO**

**ENGINEER'S REPORT PREPARED PURSUANT TO THE PROVISIONS OF THE  
LANDSCAPING AND LIGHTING ACT OF 1972 SECTION 22500 THROUGH  
22679 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE**

Pursuant to Part 2 of Division 15 of the Streets and Highways Code of the State of California, and in accordance with the Resolution of Initiation, being Resolution No. 98-97, adopted by the Council of the City of Norco, State of California, in connection with the proceedings for:

**CITY OF NORCO  
LANDSCAPING MAINTENANCE DISTRICT NO. 3  
(CENTEX – TRACT 28626)**

Hereinafter referred to as the "Assessment District," I, Dominic C. Milano, P.E. authorized representative of the City of Norco, the duly appointed ENGINEER OF WORK, submit herewith the "Report" consisting of four parts as follows:

**PART A**

Plans and specifications for the improvements are as set forth herein and are on file in the Office of the Clerk of the City.

**PART B**

An estimate of cost of the proposed improvements, including incidental costs and expenses in connection therewith, is as set forth herein.

**PART C**

The Diagram of the Assessment District Boundaries showing the exterior boundaries of the Assessment District, the boundaries of any zones within the Assessment District, and the lines and dimensions of each lot or parcel of land within the Assessment District has been submitted to the Clerk of the City. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside for the year when this Report was prepared. The Assessor's maps and records are incorporated by reference herein and made part of this Report. The legal description of the Assessment District is attached hereto.

**PART D**

An assessment of the estimated cost of the improvements on each benefited lot or parcel of land within the Assessment District.

**PART A**

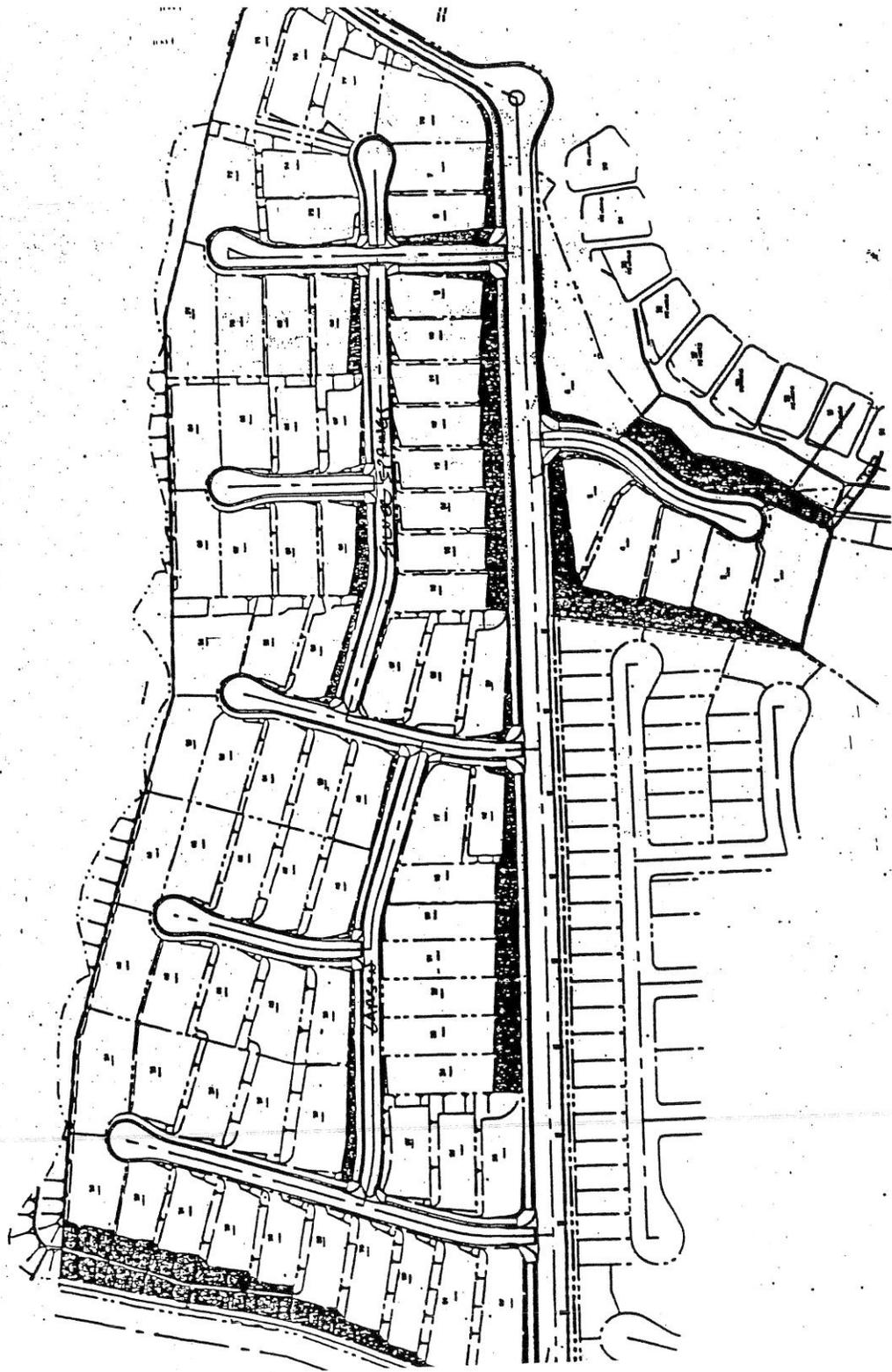
**PLANS AND SPECIFICATIONS**

**DESCRIPTION OF IMPROVEMENTS  
FOR THE CITY OF NORCO  
LANDSCAPE MAINTENANCE DISTRICT NO. 3  
(CENTEX – TRACT 28626)  
FISCAL YEAR 2014-2015**

The improvements are the operation, maintenance, and servicing of landscaping, horse trails, hardscaping, and masonry, and appurtenant facilities including but not limited to personnel, electrical energy, utilities such as water, materials, contracting services, and other items necessary for the satisfactory operation of these services, described as follows:

**LANDSCAPING**

Landscaping, planting, shrubbery, trees, irrigation, hardscapes, masonry wall surfaces, fencing, fixtures, and appurtenant facilities located within public rights-of-way (parkways), easements (slope and trail) and publicly owned parcels within the boundary of the Assessment District except as specifically excluded.



**PART B**

**ESTIMATE OF COST  
LANDSCAPE MAINTENANCE DISTRICT NO. 3 (CENTEX – TRACT 28626)  
NORCO, CALIFORNIA (FUND NO. 53110)**

The estimated costs for the operation, maintenance and servicing of the facilities, shown below, are the estimated costs of maintenance if the facilities were fully maintained for Fiscal Year 2014-2015. The 1972 Act provides that the total cost of the maintenance and services, together with incidental expenses, may be financed from the assessment proceeds. The incidental expenses may include engineering fees, legal fees, printing, mailing, postage, publishing, and all other related costs identified with district proceedings.

*Direct Cost*

Contractual Maintenance (34100)		
1 Landscape Maintenance: includes all pruning, weed and pest control, fertilization, turf care, trash and debris cleanup, irrigation to include maintenance and repair, water cost, electrical cost for controllers, tree trimming up to 15 feet, tree staking, backflow testing, rodent control and plant replacement.	\$ 28,230.00	
2 Equestrian Trails: includes minor grading, replacement of wooden posts and rails, and addition of decomposed granite for trail surfaces.	\$ 5,692.00	
3 Slope Maintenance: includes same activities as Item 1 for exterior slopes along Parkview Drive and Norco Hills Road as well as private slopes at Lots 1, 2, 3, and 4.	\$ -	
Utilities (33100)		
Water	\$ 32,793.00	
Electrical	\$ 2,245.00	
Phone	\$ 63.00	
Annual Tree Replacement (32405)	\$ -	
Subtotal Direct Cost	\$ 69,023.00	\$ 69,023.00
Operating Contingency (2.0 percent)		\$ 1,380.00
Replacement Reserve (2.0 percent)		\$ 0.00
Administrative Costs		
Observation: City Staff to Manage District (30105)	\$ 5,935.00	
Engineer's Report (34110)	\$ 2,000.00	
City Overhead/Administration (34135)	\$ 4,969.00	
Riverside County Admin. Fee (35210)	\$ 230.00	
Incidentals (30405)	\$ -	
Subtotal Administrative Costs	\$ 13,134.00	\$ 13,134.00
Operating Reserve		\$ -
Annual Capital Project		\$ -
<b>TOTAL ANNUAL BUDGET</b>		<b>\$ 83,537.00</b>

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purpose as stated herein. The City may advance funds to the District, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on July 1 must be carried over to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 and cash flow funding needs are as follows:

Fund Balance

Estimated Beginning Fund Balance July 1, 2014	\$ 64,825.00
Add Back Assessment for Future Trail Fence Replacement	\$ 0.00
Estimated Current Year Revenue Surplus (Deficit)	<u>\$ (7,808.00)</u>
Estimated Fund Balance June 30, 2015	\$ 57,017.00

Estimated Fund Balance Needs:

Needed for Future Trail Fence Replacement - 10 Years of 15 Year Useful Life	\$ 27,840.00
2013-2014 Budgeted Trail Fence Replacement Capital Project	\$ 0.00
6 Months Operating Cash Flow	<u>\$ 41,789.00</u>
Estimated Needs	<u>\$ 69,609.00</u>

Estimated Surplus or (Unfunded Needs): \$ (12,592.00)

Total Replacement Cost for Trail Fence (4,640 Lineal Ft @ \$9.00/LF)	\$ 41,760.00
Annual Set-Aside for Budgeted Trail Fence Replacement Should be (15 YR Cycle)	\$ 2,784.00

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District.

***PART C***

***ASSESSMENT DIAGRAM***

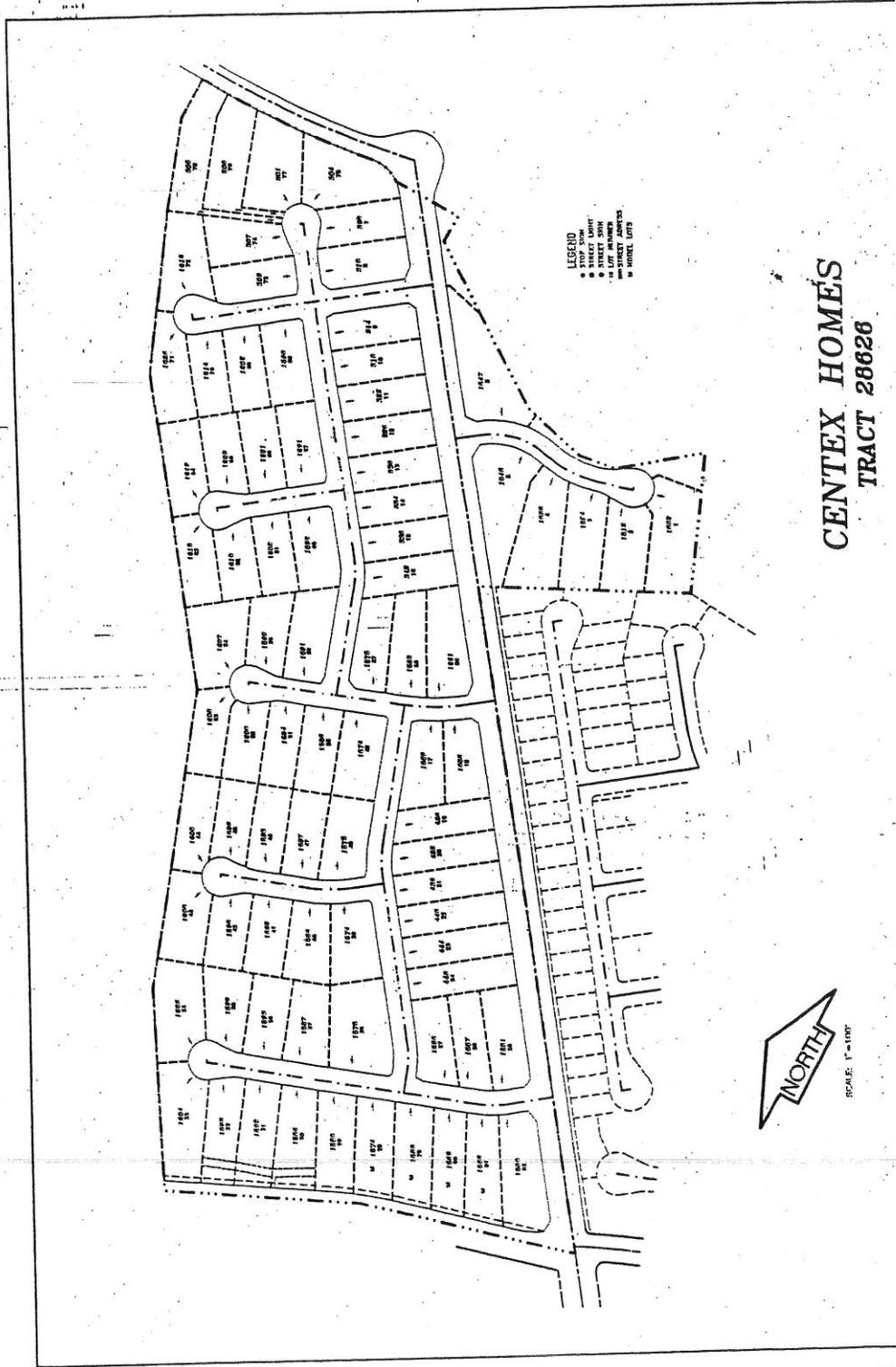
An Assessment Diagram for the Assessment District is on file in the office of the City Clerk. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside, for the year when this Report was prepared, and are incorporated by reference herein and made a part of this Report. A reduced scale map depicting the assessment diagram is attached hereto. Also attached as Exhibit "A" is the Legal Description of Assessment District.

**EXHIBIT A**

**LEGAL DESCRIPTION  
LANDSCAPE MAINTENANCE DISTRICT NO. 3 (CENTEX – TRACT 28626)**

That certain real property situated in the City of Norco, County of Riverside, State of California, more particularly described as follows:

Lots 1 through 82 inclusive, of Tract No. 28626 in the City of Norco, County of Riverside, State of California, as per map recorded in Book 295, Pages 46 through 53, inclusive, of Maps in the Office of the County Recorder of Said County.



**CENTEX HOMES  
TRACT 28626**



**PART D**

**ASSESSMENT**

WHEREAS, on April 18, 2001, the City Council of the City of Norco, California, pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the California Streets and Highways Code (the "Act") adopted its Resolution of the City Council of the City of Norco Initiating Proceedings for the Formation for a Maintenance Assessment District and thereafter formed Landscape Maintenance District No. 3 (Centex – Tract 28626) (the "District") as more particularly described in said proceedings; and

WHEREAS, said resolution directed the undersigned to prepare and file a report pursuant to Section 22565, et seq., of said Act;

WHEREAS, at this time, this City Council is desirous to provide for the annual levy of assessments for the territory within the District for the next ensuing fiscal year, to provide for the costs and expenses necessary for continual maintenance of improvements within said District; and

NOW, THEREFORE, the undersigned, by virtue of the power vested in me under said Act and the order of the City Council of said City, hereby makes the following assessment to cover the portion of the estimated cost of the maintenance of said improvements and the costs and expenses incidental thereto to be paid by said District.

The amount to be paid for the maintenance of said improvement, and the expenses incidental thereto, are as follows:

	(1) As Filed	(2) As Preliminarily Approved	(3) As Finally Approved
Cost of Maintenance	\$ 69,023.00	\$	\$
Incidental Expenses	\$ 14,514.00	\$	\$
Total Cost	\$ 83,537.00	\$	\$
Surplus or (Deficit) from Previous Fiscal Year	\$ (7,808.00)	\$	\$
NET TO BE ASSESSED FOR FISCAL YEAR 2014-2015	\$ 75,729.00	\$	\$

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District. The annual CPI ending March 31, 2014 was 1.6%. The application of this CPI will increase the per parcel assessment from \$908.98 to \$923.52 for a District wide levy of \$75,728.94.

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purposes as stated herein. A contribution to the District by the City may be made to reduce assessments, as the City Council deems appropriate. Any balance remaining on July 1 must be carried over

to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 is \$64,825.00.

As required by said Act, a diagram is hereto attached showing the exterior boundaries of said District. The lines and dimensions of each lot or parcel of land within the said District as the same existed at the time of the passage of said resolution are as shown on the maps of the County Assessor of the County of Riverside. Reference is hereby made to said maps and said maps shall govern for all details concerning the lines and dimensions of such lots and parcels.

I do hereby assess the net amount to be assessed upon all assessable lots or parcels of land within said District by apportioning that amount among the several lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the maintenance of said improvements, and more particularly set forth in the list hereto attached and by reference made a part hereof.

Said assessment is made upon the several lots or parcels of land within the District in proportion to the estimated benefits to be received by said lots or parcels, respectively, from the maintenance of said improvements. The diagram and the assessor's map are the documents to which reference is hereby made for a more particular description of said property.

Each lot or parcel of land assessed is described in the assessment list by reference to its parcel number as shown on the Assessor's Maps of the County of Riverside for the Fiscal Year 2013-2014 and includes all of such parcel. For a more particular description of said property, reference is hereby made to the deeds and maps on file and of record in the office of the County Recorder of said County.

City of Norco

Dated: \_\_\_\_\_, 2014

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Dominic C. Milano, P.E.  
City Engineer

## **EXHIBIT B**

### **METHOD AND FORMULA OF ASSESSMENT SPREAD**

The law requires and the statutes provide that assessments, as levied pursuant to the provisions of the "Landscaping and Lighting Act of 1972," must be based on the benefit that the properties receive from the works of improvement. The statute does not specify the method or formula that should be used in any special assessment district proceedings. The Assessment Engineer is appointed for the purpose of making an analysis of the facts and determining the correct apportionment of the assessment obligation. For these proceedings, the City has based its determination on standard assessment practices utilized by consulting civil engineers with a background of experience in the design of such works of improvement and experience in the completion of assessment district formation projects.

#### **IDENTIFYING THE BENEFIT**

First of all, it is necessary to identify the benefit that the public improvement will render to the properties within the Assessment District. The landscaping, irrigation, and equestrian trails have been designed and will be constructed for the benefit of enhanced aesthetics and neighborhood identity for all properties within the Assessment District.

#### **APPORTIONMENT OF COSTS**

In further making the analysis, it is necessary that the property owners receive a special and direct benefit distinguished from that of the general public. In this case, several factors are being used in the final method and spread and assessment.

The individual parcels of land within the Assessment District are currently developed or have the potential for development to single family residential units. The proposed improvements are designed to enhance the appearance and appeal of the District and all of the parcels within. The improvements will provide a sense of neighborhood identity for the District. As such, each parcel will benefit equally from the proposed improvements.

In conclusion, it is my opinion that the assessments for the referenced Assessment District have been spread in direct accordance with the benefits that each parcel receives from the works of improvements.

**LIST OF ASSESSMENTS  
 LANDSCAPE MAINTENANCE DISTRICT NO. 3 (CENTEX – TRACT 28626)  
 FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
1	\$923.52		45	\$923.52	
2	\$923.52		46	\$923.52	
3	\$923.52		47	\$923.52	
4	\$923.52		48	\$923.52	
5	\$923.52		49	\$923.52	
6	\$923.52		50	\$923.52	
7	\$923.52		51	\$923.52	
8	\$923.52		52	\$923.52	
9	\$923.52		53	\$923.52	
10	\$923.52		54	\$923.52	
11	\$923.52		55	\$923.52	
12	\$923.52		56	\$923.52	
13	\$923.52		57	\$923.52	
14	\$923.52		58	\$923.52	
15	\$923.52		59	\$923.52	
16	\$923.52		60	\$923.52	
17	\$923.52		61	\$923.52	
18	\$923.52		62	\$923.52	
19	\$923.52		63	\$923.52	
20	\$923.52		64	\$923.52	
21	\$923.52		65	\$923.52	
22	\$923.52		66	\$923.52	
23	\$923.52		67	\$923.52	
24	\$923.52		68	\$923.52	
25	\$923.52		69	\$923.52	
26	\$923.52		70	\$923.52	
27	\$923.52		71	\$923.52	
28	\$923.52		72	\$923.52	
29	\$923.52		73	\$923.52	
30	\$923.52		74	\$923.52	
31	\$923.52		75	\$923.52	
32	\$923.52		76	\$923.52	
33	\$923.52		77	\$923.52	
34	\$923.52		78	\$923.52	
35	\$923.52		79	\$923.52	
36	\$923.52		80	\$923.52	
37	\$923.52		81	\$923.52	
38	\$923.52		82	\$923.52	
39	\$923.52				
40	\$923.52				
41	\$923.52				
42	\$923.52				
43	\$923.52				
44	\$923.52				

**TOTAL TO BE ASSESSED: \$ 75,728.94**

**ENGINEER'S REPORT**

**FOR**

**LANDSCAPE MAINTENANCE DISTRICT NO. 4  
(NORCO RIDGE RANCH – TRACTS 29588 AND 29589)**

**FISCAL YEAR 2014-2015**

**PREPARED FOR THE**

**CITY OF NORCO**

**RIVERSIDE COUNTY, CALIFORNIA**

**PREPARED BY:**

**DOMINIC C. MILANO, P.E.**

**CITY ENGINEER**

**ENGINEER'S REPORT  
CITY OF NORCO**

**LANDSCAPE MAINTENANCE DISTRICT NO. 4  
(NORCO RIDGE RANCH – TRACTS 29588 AND 29589)  
FISCAL YEAR 2014-2015**

The undersigned respectfully submits the enclosed report as directed by the City Council.

Date: \_\_\_\_\_, 2014

By: \_\_\_\_\_  
Dominic C. Milano, P.E.  
R.C.E. No. 27172  
City Engineer

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Norco, California, on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

**FISCAL YEAR 2014-2015  
CITY OF NORCO**

**ENGINEER'S REPORT PREPARED PURSUANT TO THE PROVISIONS OF THE  
LANDSCAPING AND LIGHTING ACT OF 1972 SECTION 22500 THROUGH  
22679 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE**

Pursuant to Part 2 of Division 15 of the Streets and Highways Code of the State of California, and in accordance with the Resolution of Initiation, being Resolution No. No. 98-97 adopted by the Council of the City of Norco, State of California, in connection with the proceedings for:

**CITY OF NORCO  
LANDSCAPING MAINTENANCE DISTRICT NO. 4  
(NORCO RIDGE RANCH – TRACTS 29588 AND 29589)**

Hereinafter referred to as the "Assessment District," I, Dominic C. Milano, P.E. authorized representative of the City of Norco, the duly appointed ENGINEER OF WORK, submit herewith the "Report" consisting of five parts as follows:

**PART A – PLANS AND SPECIFICATIONS**

Contains a description if the improvements that are to be maintained or serviced by the District.

**PART B – ESTIMATE OF COST**

Identifies the estimated cost of the services or maintenance to be provided by the District, including incidental costs and expenses in connection herewith.

**PART C – METHOD OF APPORTIONMENT**

Describes the basis on which the costs have been apportioned to each parcel of land within the Assessment District, in proportion to the estimated benefits to be received by such lots and parcels.

**PART D – ASSESSMENT ROLL**

Identifies the maximum assessment to be levied on each benefited lot or parcel of land within the Assessment District.

**PART E – ASSESSMENT DIAGRAM**

The Diagram of the Assessment District Boundaries showing the exterior boundaries of the Assessment District, the boundaries of any zones within the Assessment District, and the lines and dimensions of each lot or parcel of land within the Assessment District has been submitted to the Clerk of the City. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside for the year when this Report was prepared. The Assessor's maps and records are incorporated by reference herein and made part of this Report. The legal description of the Assessment District is attached hereto.

**PART A**

**PLANS AND SPECIFICATIONS**

**DESCRIPTION OF IMPROVEMENTS  
FOR THE CITY OF NORCO  
LANDSCAPE MAINTENANCE DISTRICT NO. 4  
(NORCO RIDGE RANCH TRACTS 29588 AND 29589)  
FISCAL YEAR 2014-2015**

The improvements to be maintained and serviced include landscaping as described herein.

**Landscaping and Appurtenant Improvements:**

Improvements include but are not limited to: landscaping, planting, shrubbery, trees, irrigation systems, hardscapes, fixtures, and appurtenant facilities, in public rights-of-way, parkways, slopes, trails, open space and dedicated easements within the boundaries of said Assessment District. The following are the facilities to be maintained within the District:

**Slopes, Parkway and Trails**

1. Slope landscaping-non-irrigated (3.78 acres)
2. Slope landscaping-irrigated (13.17 acres)
3. Fuel modification areas (17.66 acres)
4. Parkway landscaping (1.11 acres)
5. Equestrian trails (26.54 acres)

**Open Space and Wetlands Areas**

1. Natural open space – non-irrigated (384.34 acres)
2. Wetlands area – non-irrigated (13.04 acres)

The District will fund costs in connection with the District maintenance and servicing including, but not limited to, labor, electrical energy, water, materials, contracting services, administration, and other expenses necessary for the satisfactory maintenance and operation of these improvements.

Maintenance means the furnishing of services and materials for the ordinary and usual operation, maintenance and servicing of the landscaping and appurtenant improvements, including repair, removal or replacement of all or part of any of the landscaping or appurtenant improvements; providing for the life, growth, health and beauty of the landscaping, including cultivation, irrigation, trimming, spraying, fertilizing and treating for disease or injury; the removal of trimmings, rubbish, debris and other solid waste, and the cleaning, sandblasting, and painting of walls and other improvements to remove or cover graffiti.

Operating and servicing means the furnishing of water for the irrigation of the landscaping, the maintenance of irrigation controllers and appurtenant facilities and the furnishing of telephone services and electric energy, and administration of all aspects of the operation, maintenance and servicing of the improvements.

The plans and specifications for the improvements, showing the general nature, location and the extent of the improvements, are on file in the office of the City Engineer and are by reference herein made a part of this report.

**PART B**

**ESTIMATE OF COST  
LANDSCAPE MAINTENANCE DISTRICT NO. 4  
(NORCO RIDGE RANCH-TRACTS 29588 & 29589)  
NORCO, CALIFORNIA**

The estimated costs for the operation, maintenance and servicing of the facilities, shown below, are the estimated costs of maintenance if the facilities were fully maintained for Fiscal Year 2014-2015. The 1972 Act provides that the total cost of the maintenance and services, together with incidental expenses, may be financed from the assessment proceeds. The incidental expenses may include engineering fees, legal fees, printing, mailing, postage, publishing, and all other related costs identified with district proceedings.

*Direct Cost*

Contractual Maintenance (34105)		
1	Landscape Maintenance	\$114,562.00
	Non-Irrigated Slope Landscaping	
	Fuel Modification	
	Zone B "Irrigated Zone"	
	Zone C "Thinning Zone"	
	Zone D "Thinning Zone"	
	Parkway Landscaping - Park	
2	Natural Open Space	\$ 11,000.00
3	Wetlands Area	\$ 5,000.00
4	Equestrian Trails	\$ 73,236.00
Utilities (33100)		
	Water	\$ 90,892.00
	Electrical	\$ 53,417.00
	Phone	\$ 664.00
	Annual Tree Replacement (32405)	<u>\$ 5,000.00</u>
	Subtotal Direct Cost	<u>\$ 353,771.00</u> \$ 353,771.00
	Operating Contingency (5 percent)	\$ 17,000.00
	Operating Reserve For Trail Maintenance*	\$ 19,000.00
	Capital Project: Trail Fence Replacement	\$ 75,000.00
	Capital Project: Drainage Enhancement Phase III	\$ 20,000.00
Administrative Costs		
	Observation: City Staff to Manage District (30105)	\$ 10,388.00
	Engineer's Report (34110)	\$ 3,600.00
	City Overhead/Administration (34135)	\$ 30,122.00
	Riverside County Admin. Fees (35210)	\$ 382.00
	Incidentals (30405)	<u>\$ -</u>
	Subtotal Administrative Costs	<u>\$ 44,492.00</u> \$ 44,492.00
	Operating Reserve	\$ -
	Annual Capital Project	\$ -
	<b>TOTAL ANNUAL BUDGET</b>	<u><u>\$ 529,952.00</u></u>

\*The "Operating Reserve for Trail Maintenance" is a yearly line item in the budget (Estimate Of Cost) set-up to build a fund balance for capital improvements projects within the equestrian trail. The trail improvements include but are not limited to the construction of drainage improvements, to protect the trail from erosion, replacements of trail fencing and catastrophic trail failure.

The 1972 Act requires that a special fund to set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purpose as stated herein. The City may advance funds to the District, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on July 1 must be carried over to the next fiscal year. For fiscal year ending June 30, 2014 the fund balance and cash flow funding needs are as follows:

Fund Balance

Estimated Ending Fund Balance July 1, 2014		\$ 331,308.00
Unencumbered	\$ 231,308.00	
Trail Maintenance Reserve	<u>\$ 25,000.00</u>	
Subtotal Non Capital Project	\$ 256,308.00	
2013/14 Capital Project Trail		
Fence Replacement Not Completed	<u>\$ 75,000.00</u>	
Subtotal	\$ 331,308.00	
Estimated Surplus 2014/15	\$ 108.00	\$ 108.00
Estimated Fund Balance June 30, 2015	\$ 331,416.00	\$ 331,416.00
Estimated Fund Balance Needs:		
6 Months Operating Cash Flow		\$ 264,976.00
Capital Projects		
Needed for Future Trail Fence Replacement - 10 Years of 15 Year Useful Life	\$ 385,344.00	
2013-2014 Budgeted Trail Fence Replacement Capital Project	<u>\$ (75,000.00)</u>	
Subtotal Capital Projects	\$ 310,344.00	<u>\$ 310,344.00</u>
Total Estimated Needs		\$ 575,320.00
Estimated Surplus or (Unfunded Needs):		\$ (243,904.00)

Total Replacement Cost for Trail Fence (64,224 Lineal Ft @ \$9.00/LF)	\$ 578,016.00
Annual Set-Aside for Budgeted Trail Fence Replacement Should be (15 YR Cycle)	\$ 38,535.00

The City Council at a previous assessment public hearing authorized the construction of drainage improvements generally along driveways to intercept water runoff at locations causing moderate to severe erosion. In Fiscal Year 2011-12, Phase I of the project, was completed at those areas where runoff caused severe erosion. For Fiscal Year 2012-13, Phase II of the project, runoff where moderate erosion was occurring, was undertaken. This project affected 84 locations (83 homes) at a cost of \$214,750 (contract amount \$218,680). For Fiscal Year 2014-15 a Phase III Project is proposed affecting approximately 10 locations with an estimated cost of \$20,000.00. The life expectancy of the now ten year old fencing is twelve to fifteen years. This capital project, which may be broken up into phases, will consist of the replacement of approximately 64,224 lineal feet of trail fencing at a 2014 cost of \$9.00 per lineal foot for a total cost of \$578,016.00.

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District.

## PART C

### **METHOD OF APPORTIONMENT**

The law requires and the statutes provide that assessments, as levied pursuant to the provisions of the "Landscaping and Lighting Act of 1972," must be based on the benefit that the properties receive from the works of improvement. The statute does not specify the method or formula that should be used in any special assessment district proceedings. The Assessment Engineer is appointed for the purpose of making an analysis of the facts and determining the correct apportionment of the assessment obligation. For these proceedings, the City has based its determination on standard assessment practices utilized by consulting civil engineers with a background of experience in the design of such works of improvement and experience in the completion of assessment district formation projects.

### **REASON FOR THE ASSESSMENT**

The assessment is proposed to be levied to defray the costs of the operation, servicing and maintenance of landscaping and appurtenant improvements within the public rights-of-way, as previously defined herein in Part A of this Report.

### **APPORTIONMENT OF COSTS**

In further making the analysis, it is necessary that the property owners receive a special and direct benefit distinguished from that of the general public. In this case, several factors are being used in the final method and spread and assessment.

The individual parcels of land within the Assessment District are currently developed or have the potential for development to single family residential units. The proposed improvements are designed to enhance the appearance and appeal of the District and all of the parcels within. The improvements will provide a sense of neighborhood identity for the District. As such, each parcel will benefit equally from the proposed improvements.

In conclusion, it is my opinion that the assessments for the referenced Assessment District have been spread in direct accordance with the benefits that each parcel receives from the works of improvements.

The amount to be paid for the maintenance of said improvements, and the expenses incidental thereto, are as follows:

	(1) As Filed	(2) As Preliminarily Approved	(3) As Finally Approved
Cost of Maintenance	\$ 372,771.00	\$	\$
Capital Project	\$ 95,000.00	\$	\$
Incidental Expenses	\$ 62,181.00	\$	\$
Total Cost	\$ 529,952.00	\$	\$
Surplus to Reserve Fund	\$ 108.00	\$	\$
NET TO BE ASSESSED	\$ 530,060.00	\$	\$

FOR FISCAL YEAR  
2014-2015

The table below provides the assessment apportionment for the various development areas within the Norco Ridge Ranch Specific Plan and shows the maximum annual assessment rate per planned SFR lot. The golf course lots are undeveloped.

<u>Tract Nos.</u>	<u>Planned SFR Lots</u>	<u>Total Assessment Estimate</u>	<u>Maximum** Asmt. Rate per Planned SFR Lot</u>
TR 29588,-2,-3,-4,-5	293	\$285,302.89	\$973.73/lot
TR 29589-1,-2,-3	239	\$232,721.47	\$973.73/lot
TR 29588-1*	25	\$ 7,166.75	\$286.67/lot
Other Assessable Lots	<u>5</u>	<u>\$ 4,868.65</u>	\$973.73/lot
	562	\$530,059.76	

\*Lots in TR 29588-1 receive only the benefit of trail maintenance. The Subdivision is not contiguous with Norco Ridge Ranch.

\*\*The maximum annual maintenance assessment rates may be increased each year by the annual change in the Consumer Price Index (CPI), during the preceding year ending in March, for All Urban Consumers, for the Los Angeles, Riverside and Orange County areas. The annual CPI ending March 31, 2014 was 1.6%, for a maximum assessment of \$973.73/lot for those receiving full benefit.

The actual assessments levied in any fiscal year will be as approved by the City Council and may not exceed the maximum assessment rate without receiving property owner approval for the increase.

***PART D***

***ASSESSMENT ROLL***

The Assessment Roll is a listing of the proposed assessment for Fiscal Year 2014-2015 apportioned to each lot or parcel, as shown on the last equalized roll of the Assessor of the County of Riverside. The Assessment Roll is provided below and is incorporated herein.

The description of each lot or parcel is part of the records of the Assessor of the County of Riverside and these records are, by reference, made part of this Report.

The following list of parcels will be assessed for landscape maintenance:

***PART E***

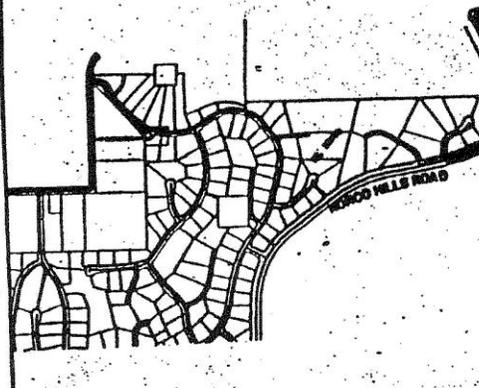
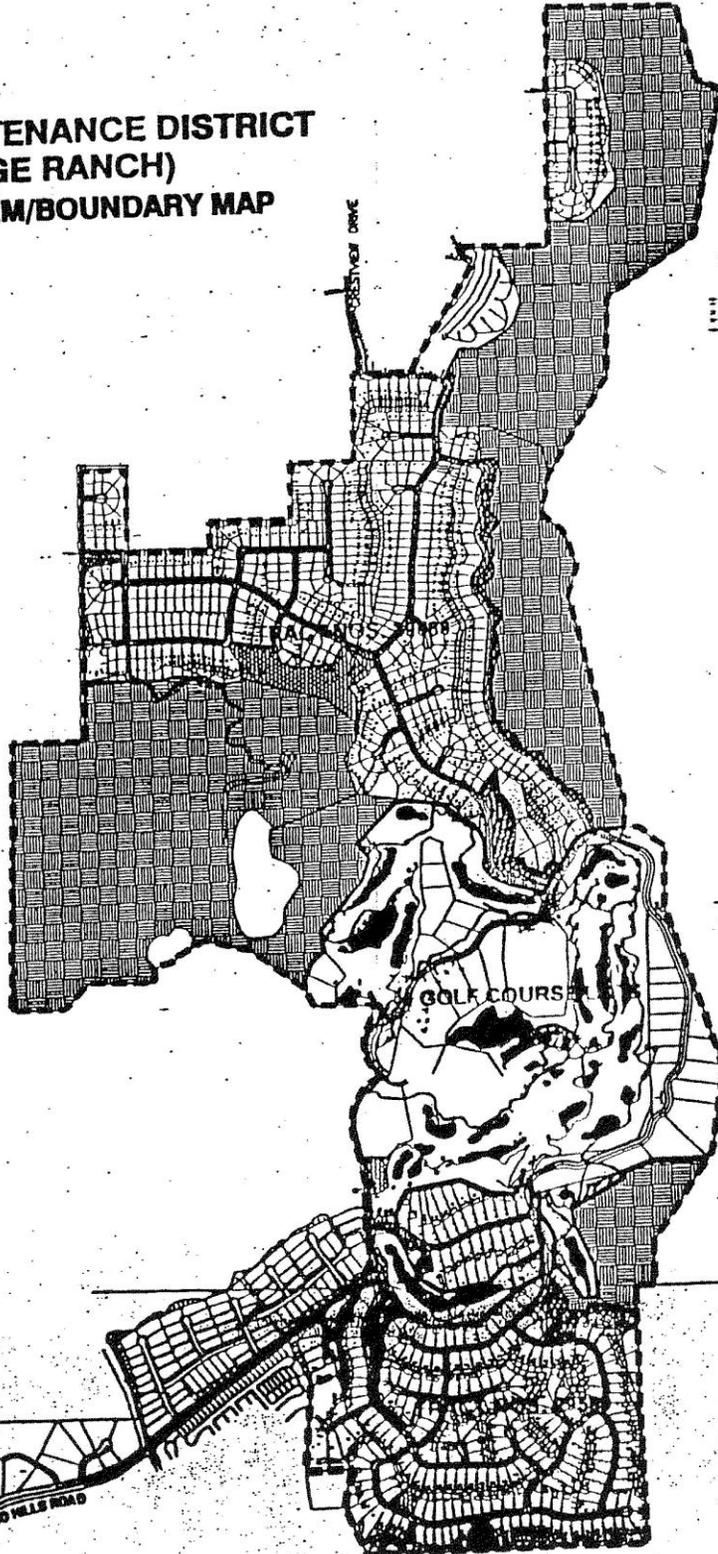
***ASSESSMENT DIAGRAM***

An Assessment Diagram for the Assessment District is on file in the office of the City Engineer. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside, for the year when this Report was prepared, and are incorporated by reference herein and made part of this Report. A reduced scale map depicting the assessment diagram is attached hereto.

# LANDSCAPING MAINTENANCE DISTRICT (NORCO RIDGE RANCH) ASSESSMENT DIAGRAM/BOUNDARY MAP

**LEGEND**

-  SLOPE LANDSCAPING—(ORIENTED)
-  SLOPE LANDSCAPING—(NON-ORIENTED)
-  NATURAL OPEN SPACE—(NON-ORIENTED)
-  WETLANDS AREA—(NON-ORIENTED)
-  PASTURE LANDSCAPING
-  DISTRICT BOUNDARY
-  TRACT AREA BOUNDARY



	ASSOCIATES	DATE: 9-21-88
	1000 N. 10th St. Tulsa, OK 74103 (405) 424-1111	SCALE: 1" = 100'

**ENGINEER'S REPORT**

**FOR**

**LANDSCAPE MAINTENANCE DISTRICT NO. 5 (HAWK'S CREST)**

**FISCAL YEAR 2014-2015**

**PREPARED FOR THE**

**CITY OF NORCO**

**RIVERSIDE COUNTY, CALIFORNIA**

**PREPARED BY:**

**DOMINIC C. MILANO, P.E.**

**CITY ENGINEER**

**ENGINEER'S REPORT  
CITY OF NORCO**

**LANDSCAPE MAINTENANCE DISTRICT NO. 5  
(HAWK'S CREST – TRACT 30230)  
FISCAL YEAR 2014-2015**

The undersigned respectfully submits the enclosed report as directed by the City Council.

Date: \_\_\_\_\_, 2014

By: \_\_\_\_\_  
Dominic C. Milano, P.E.  
R.C.E. No. 27172  
City Engineer

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Norco, California, on \_\_\_\_\_, 2014.

City Clerk, City of Norco  
Riverside County, California

By: \_\_\_\_\_

**FISCAL YEAR 2014-2015  
CITY OF NORCO**

**ENGINEER'S REPORT PREPARED PURSUANT TO THE PROVISIONS OF THE  
LANDSCAPING AND LIGHTING ACT OF 1972 SECTION 22500 THROUGH  
22679 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE**

Pursuant to Part 2 of Division 15 of the Streets and Highways Code of the State of California, and in accordance with the Resolution of Initiation, being Resolution No. 99-76, adopted by the Council of the City of Norco, State of California, in connection with the proceedings for:

**CITY OF NORCO  
LANDSCAPING MAINTENANCE DISTRICT NO. 5  
(HAWK'S CREST- TRACT 30230)**

Hereinafter referred to as the "Assessment District," I, Dominic C. Milano, P.E. authorized representative of the City of Norco, the duly appointed ENGINEER OF WORK, submit herewith the "Report" consisting of four parts as follows:

**PART A**

Plans and specifications for the improvements are as set forth herein and are on file in the Office of the Clerk of the City.

**PART B**

An estimate of cost of the proposed improvements, including incidental costs and expenses in connection therewith, is as set forth herein.

**PART C**

The Diagram of the Assessment District Boundaries showing the exterior boundaries of the Assessment District, the boundaries of any zones within the Assessment District, and the lines and dimensions of each lot or parcel of land within the Assessment District has been submitted to the Clerk of the City. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside for the year when this Report was prepared. The Assessor's maps and records are incorporated by reference herein and made part of this Report. The legal description of the Assessment District is attached hereto.

**PART D**

An assessment of the estimated cost of the improvements on each benefited lot or parcel of land within the Assessment District.



**PART A**

**PLANS AND SPECIFICATIONS**

**DESCRIPTION OF IMPROVEMENTS  
FOR THE CITY OF NORCO  
LANDSCAPE MAINTENANCE DISTRICT NO. 5  
(HAWK'S CREST – TRACT 30230)  
FISCAL YEAR 2014-2015**

The improvements are the operation, maintenance, and servicing of landscaping, horse trails, hardscaping, and masonry, and appurtenant facilities including but not limited to personnel, electrical energy, utilities such as water, materials, contracting services, and other items necessary for the satisfactory operation of these services, described as follows:

**LANDSCAPING**

Landscaping, planting, shrubbery, trees, irrigation, hardscapes, masonry wall surfaces, fencing, fixtures, and appurtenant facilities located within public rights-of-way (parkways), easements (slope and trail) and publicly owned parcels within the boundary of the Assessment District except as specifically excluded.

**PART B**

**ESTIMATE OF COST  
LANDSCAPE MAINTENANCE DISTRICT NO. 5 (KB HOME TRACT 30230)  
NORCO, CALIFORNIA (FUND NO. 53120)**

The estimated costs for the operation, maintenance and servicing of the facilities, shown below, are the estimated costs of maintenance if the facilities were fully maintained for Fiscal Year 2014-2015. The 1972 Act provides that the total cost of the maintenance and services, together with incidental expenses, may be financed from the assessment proceeds. The incidental expenses may include engineering fees, legal fees, printing, mailing, postage, publishing, and all other related costs identified with district proceedings.

*Direct Cost*

Contractual Maintenance (34100)		
1 Landscape Maintenance (Park-Flat): includes all pruning, weed and pest control, fertilization, turf care, trash and debris cleanup, irrigation to include maintenance and repair, water cost, electrical cost for controllers, tree trimming up to 15 feet, tree staking, backflow testing, rodent control and plant replacement.	\$	11,000.00
2 Arena Maintenance: includes grading & replenishment of DG and maintenance of rail. (Cost included in Item No. 1)		
3 Equestrian Trails: includes minor grading, replacement of wooden posts and rails, and addition of decomposed granite for trail surface.	\$	7,150.00
4 Landscape Maintenance (Slope - Park & Arena): includes plant maintenance, weed, and pest control, and debris cleanup.	\$	4,777.00
5 Slope Maintenance: includes same activities as Item 1 but for exterior slopes along Fifth Street and California Ave. (Cost included in Item No. 4)		
6 Landscape Maintenance (Parkways): includes weeding, feeding of ground cover and maintenance & trimming of street trees. (Cost included in Item No. 4)		
Utilities (33100)		
Water	\$	9,133.00
Electrical	\$	425.00
Phone	\$	71.00
Annual Tree Replacement (32405)	\$	-
Subtotal Direct Cost	\$	32,556.00
Operating Contingency (7.7 percent)		\$ 2,507.00
Replacement Reserve (2.0 percent max)		\$ 651.00
Administrative Costs		
Observation: City Staff to Manage District (30105)	\$	4,452.00
Engineer's Report (34110)	\$	2,500.00
City Overhead/Administration (34135)	\$	2,898.00
Riverside County Admin. Fee (35210)	\$	139.00
Incidentals (30405)	\$	-
Subtotal Administrative Costs	\$	9,989.00
Operating Reserve		\$2,224.00
Annual Capital Project		\$0.00
<b>TOTAL ANNUAL BUDGET</b>		<b>\$ 47,927.00</b>

The 1972 Act requires that a special fund to set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purpose as stated herein. The City may advance funds to the District, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on July 1 must be carried over to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 and cash flow needs are as follows:

Fund Balance

Estimated Beginning Fund Balance July 1, 2014	\$ 72,308.00
Estimated Current Year Revenue Surplus	<u>\$ 0.00</u>
Estimated Fund Balance June 30, 2015	\$ 68,204.00

Estimated Fund Balance Needs:

Needed for Future Trail Fence Replacement - 10 Years of 15 Year Useful Life	\$ 41,104.00
2013-2014 Budgeted Trail Fence Replacement Capital Project	\$ 0.00
6 Months Operating Cash Flow	<u>\$ 23,964.00</u>
Estimated Needs	<u>\$ 65,068.00</u>

Estimated Surplus or (Unfunded Needs): \$ 7,240.00

Total Replacement Cost for Trail Fence (6,840 Lineal Ft @ \$9.00/LF)	\$ 61,560.00
Annual Set-Aside for Budgeted Trail Fence Replacement Should be (15 YR Cycle)	\$ 4,104.00

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District.

***PART C***

***ASSESSMENT DIAGRAM***

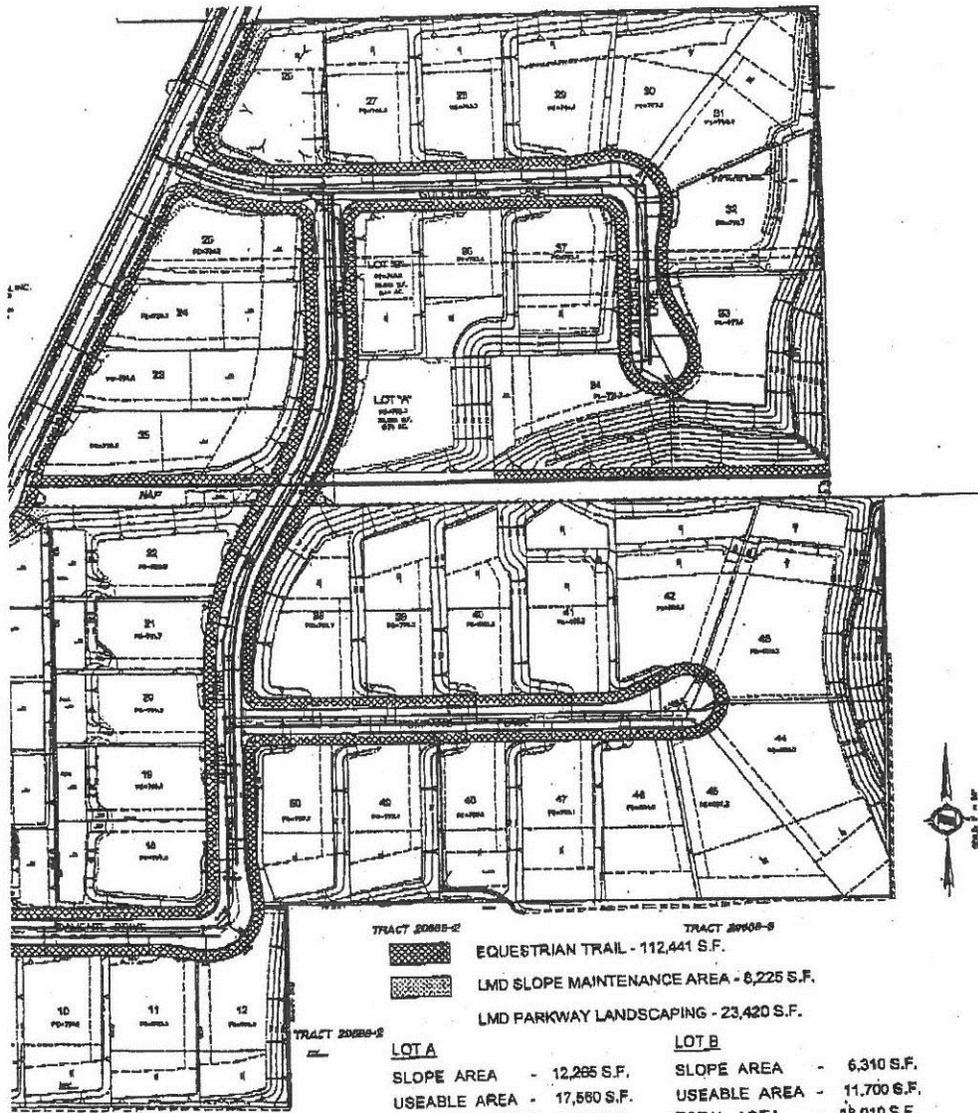
An Assessment Diagram for the Assessment District is on file in the office of the City Clerk. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of the Assessor of the County of Riverside, for the year when this Report was prepared, and are incorporated by reference herein and made a part of this Report. A reduced scale map depicting the assessment diagram is attached hereto. Also attached as Exhibit "A" is the Legal Description of Assessment District.

***EXHIBIT A***

***LEGAL DESCRIPTION  
LANDSCAPE MAINTENANCE DISTRICT NO. 5 (HAWK'S CREST)***

That certain real property situated in the City of Norco, County of Riverside, State of California, more particularly described as follows:

Lots 1 through 50 inclusive, of Tract No. 30230 in the City of Norco, County of Riverside, State of California, as per map recorded in Book 344, Pages 40 through 45, inclusive, of Maps in the Office of the County Recorder of Said County.



T 20688-2

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**PART D**  
**ASSESSMENT**

WHEREAS, on November 5, 2003, the City Council of the City of Norco, California, pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the California Streets and Highways Code (the "Act") adopted its Resolution of the City Council of the City of Norco Initiating Proceedings for the Formation for a Maintenance Assessment District and thereafter formed Landscape Maintenance District No. 5 (Hawk's Crest) (the "District") as more particularly described in said proceedings; and

WHEREAS, said resolution directed the undersigned to prepare and file a report pursuant to Section 22565, et seq., of said Act;

WHEREAS, at this time, this City Council is desirous to provide for the annual levy of assessments for the territory within the District for the next ensuing fiscal year, to provide for the costs and expenses necessary for continual maintenance of improvements within said District; and

NOW, THEREFORE, the undersigned, by virtue of the power vested in me under said Act and the order of the City Council of said City, hereby makes the following assessment to cover the portion of the estimated cost of the maintenance of said improvements and the costs and expenses incidental thereto to be paid by said District.

The amount to be paid for the maintenance of said improvement, and the expenses incidental thereto, are as follows:

	(1) As Filed	(2) As Preliminarily Approved	(3) As Finally Approved
Cost of Maintenance	\$ 32,556.00	\$ _____	\$ _____
Incidental Expenses	<u>\$ 15,371.00</u>	<u>\$ _____</u>	<u>\$ _____</u>
Total Cost	\$ 47,927.00	\$ _____	\$ _____
Surplus or (Deficit) from Previous Fiscal Year	<u>\$ 0.00</u>	<u>\$ _____</u>	<u>\$ _____</u>
NET TO BE ASSESSED FOR FISCAL YEAR 2014-2015	\$ 47,927.00	\$ _____	\$ _____

The total annual levy of assessments hereunder may be increased annually by an amount not to exceed the increase in the consumer price index applicable to the City of Norco. In no case may the increase exceed the actual cost of providing the services rendered within and pursuant to the District. The annual CPI ending March 31, 2014 was 1.6%. The application of this CPI will increase the maximum per parcel assessment from \$1,006.40 to \$1,022.50 for a District wide maximum levy of \$51,125.00, which exceeds the amount necessary to balance this budget. An assessment of \$958.54 is recommended to balance the budget.

The 1972 Act requires that a special fund be set up for the revenues and expenditures of the District. Funds raised by assessment shall be used only for the purposes as stated herein. A

contribution to the District by the City may be made to reduce assessments, as the City Council deems appropriate. Any balance remaining on July 1 must be carried over to the next fiscal year. The estimated fund balance for fiscal year ending June 30, 2014 is \$72,308.00.

As required by said Act, a diagram is attached showing the exterior boundaries of said District. The lines and dimensions of each lot or parcel of land within the said District as the same existed at the time of the passage of said resolution are as shown on the maps of the County Assessor of the County of Riverside. Reference is hereby made to said maps and said maps shall govern for all details concerning the lines and dimensions of such lots and parcels.

I do hereby assess the net amount to be assessed upon all assessable lots or parcels of land within said District by apportioning that amount among the several lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the maintenance of said improvements, and more particularly set forth in the list hereto attached and by reference made a part hereof.

Said assessment is made upon the several lots or parcels of land within the District in proportion to the estimated benefits to be received by said lots or parcels, respectively, from the maintenance of said improvements. The diagram and the assessor's map are the documents to which reference is hereby made for a more particular description of said property.

Each lot or parcel of land assessed is described in the assessment list by reference to its parcel number as shown on the Assessor's Maps of the County of Riverside for the Fiscal Year 2013-2014 and includes all of such parcel. For a more particular description of said property, reference is hereby made to the deeds and maps on file and of record in the office of the County Recorder of said County.

City of Norco

Dated: \_\_\_\_\_, 2014

\_\_\_\_\_  
Dominic C. Milano, P.E.  
City Engineer

## **EXHIBIT B**

### **METHOD AND FORMULA OF ASSESSMENT SPREAD**

The law requires and the statutes provide that assessments, as levied pursuant to the provisions of the "Landscaping and Lighting Act of 1972," must be based on the benefit that the properties receive from the works of improvement. The statute does not specify the method or formula that should be used in any special assessment district proceedings. The Assessment Engineer is appointed for the purpose of making an analysis of the facts and determining the correct apportionment of the assessment obligation. For these proceedings, the City has based its determination on standard assessment practices utilized by consulting civil engineers with a background of experience in the design of such works of improvement and experience in the completion of assessment district formation projects.

#### **IDENTIFYING THE BENEFIT**

First of all, it is necessary to identify the benefit that the public improvement will render to the properties within the Assessment District. The landscaping, irrigation, and equestrian trails have been designed and will be constructed for the benefit of enhanced aesthetics and neighborhood identity for all properties within the Assessment District.

#### **APPORTIONMENT OF COSTS**

In further making the analysis, it is necessary that the property owners receive a special and direct benefit distinguished from that of the general public. In this case, several factors are being used in the final method and spread and assessment.

The individual parcels of land within the Assessment District are currently developed or have the potential for development to single family residential units. The proposed improvements are designed to enhance the appearance and appeal of the District and all of the parcels within. The improvements will provide a sense of neighborhood identity for the District. As such, each parcel will benefit equally from the proposed improvements.

In conclusion, it is my opinion that the assessments for the referenced Assessment District have been spread in direct accordance with the benefits that each parcel receives from the works of improvements.

**LIST OF ASSESSMENTS  
 LANDSCAPE MAINTENANCE DISTRICT NO. 5 (HAWK'S CREST – TRACT 30230)  
 FISCAL YEAR 2014-2015**

<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>	<u>Lot No.</u>	<u>As Preliminarily Approved</u>	<u>As Finally Confirmed and Recorded</u>
1	\$958.54		45	\$958.54	
2	\$958.54		46	\$958.54	
3	\$958.54		47	\$958.54	
4	\$958.54		48	\$958.54	
5	\$958.54		49	\$958.54	
6	\$958.54		50	\$958.54	
7	\$958.54				
8	\$958.54				
10	\$958.54				
11	\$958.54				
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34	\$958.54				
35	\$958.54				
36	\$958.54				
37	\$958.54				
38	\$958.54				
39	\$958.54				
40	\$958.54				
41	\$958.54				
42	\$958.54				
43	\$958.54				
44	\$958.54				

**TOTAL TO BE ASSESSED: \$ 47,927.00**

## **CITY OF NORCO STAFF REPORT**

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Geoff Pemberton, Battalion Chief

DATE: July 16, 2014

SUBJECT: **Public Hearing:** Confirming Costs for Spring Weed Abatement

RECOMMENDATION: Adopt Resolution No. 2014-49, confirming the report of costs for abatement of weeds and hazardous vegetation as a public nuisance and imposing special assessment liens on vacant parcels within the City.

SUMMARY: The 2014 Spring Weed Abatement Report of Costs lists property owners whose vacant parcels were abated by the Fire Department's weed abatement contractor for the 2014 Spring Weed Abatement Program. After Council adopts the Resolution, property owners will be invoiced for payment of the abatement.

BACKGROUND/ANALYSIS: At the May 7, 2014 Council meeting, the City Council authorized the Fire Department's weed abatement contractor, Warren Brothers Tractor Work, to remove weeds and hazardous vegetation from vacant parcels for owners who failed to do so by the April 21, 2014 deadline date.

The 2014 Spring Weed Abatement Report of Costs is a list of property owners whose parcels were abated by Warren Brothers following Council's authorization ordering the abatement. This list includes the contractor's charge and the Fire Department's administrative fee. Property owners will be invoiced for these costs; and if not paid, property liens will be placed against the parcel through the Riverside County Auditor-Controller's Office.

FINANCIAL IMPACT: Costs to abate weeds on vacant property are paid either by the property owner or by property tax liens.

Attachments: Resolution No. 2014-49  
2014 Spring Weed Abatement Report of Costs, Exhibit "A"

## **RESOLUTION NO. 2014-49**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO, CALIFORNIA, CONFIRMING THE REPORT OF COSTS FOR ABATEMENT OF WEEDS AND HAZARDOUS VEGETATION AS A PUBLIC NUISANCE AND IMPOSING SPECIAL ASSESSMENT LIENS ON VACANT PARCELS WITHIN THE CITY**

WHEREAS, the City Council declared that seasonal and recurring weeds and hazardous vegetation, growing upon and in front of vacant property in the City of Norco, constitute a public nuisance and also declared its intent to provide for abatement by adopting Resolution No. 2014-09 on March 5, 2014; and

WHEREAS, the Notice to Destroy Weeds and Hazardous Vegetation was given to property owners of vacant property in accordance with Chapter 13, Article 2, Section 39567.1 of the State of California Government Code and Resolution No. 2014-09; and

WHEREAS, the City Council held a Public Hearing on May 7, 2014, and all objections to the proposed abatement of weeds and hazardous vegetation on vacant parcels were heard and considered in accordance with the State of California Government Code and Resolution No. 2014-09; and

WHEREAS, the City Council ordered the Fire Chief to have such nuisances abated by adopting Resolution No. 2014-19 on May 7, 2014; and

WHEREAS, an itemized report showing the cost to abate the nuisances that were on or in front of vacant parcels has been prepared and submitted to the City Council for confirmation; and

WHEREAS, a copy of the report of costs was posted near the door of the Council Chamber at least three days prior to the Public Hearing; and

WHEREAS, the Public Hearing being held by City Council is for the purpose of receiving and considering the report of costs showing abatement costs and hearing objections from property owners liable to be assessed for such costs.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Norco, California, does hereby find and declare that the 2014 Spring Weed Abatement Report of Costs, Exhibit "A" on nuisance abatement for vacant parcels is confirmed, and that the costs are also confirmed as special assessment property liens against the vacant parcels whose property owners do not pay the invoiced amount.

Resolution No. 2014-49

Page 2

July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

\_\_\_\_\_  
Mayor of the City of Norco, California

ATTEST:

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

I, Cheryl L. Link, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014 by the following vote of the City Council:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on July 16, 2014.

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

/sbs

City of Norco

2014 Spring Weed Report of Costs  
Exhibit" A"

PARCEL NO.	OWNER OF RECORD	PARCEL ACREAGE	CONTRACTOR'S FEE	ADMIN FEE	TOTAL CHARGE
121074014-6	AMIR & FADIA IBRHIM 3070 SHADOW CANYON CIT NORCO, CA, 92860	0.50	\$95.00	\$95.00	\$190.00
125210026-5	BILL & JOE BARRETO 590 MONDALE STREET CORONA CA 92880	0.99	\$230.00	\$230.00	\$460.00
125270012-8	BANK OF AMERICA 7360 S KYRENE RD TEMPE AZ 85283	1.08	\$214.80	\$214.80	\$429.60
126050017-0	D W AUGUST INC 1331 TIFFANY RANCH RD ARROYO GRANDE CA 93420	0.43	\$70.00	\$70.00	\$140.00
129380009-4	Rexco 2518 N Santiago Blvd Orange, CA, 92867	1.63	\$247.80	\$247.80	\$495.60
131200002-7	DANIEL YARUSI 32158 CAMINO CAPISTRANO #A SAN JUAN CAPISTRANO CA 92675-3720	0.44	\$370.00	\$370.00	\$740.00
1532222009-2	FRANCES VAUGHAN 3806 HIGHWAY 90 WEST DEL RIO TX 78840	2.19	\$120.00	\$120.00	\$240.00

Total Charges

\$ 1,347.60 \$ 1,347.60 \$ 2,695.20

## CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Steve King, Planning Director

DATE: July 16, 2014

SUBJECT: **Appeal Hearing: Conditional Use Permit 2013-02, Modification No.1 (Pandemic Fitness):** Appeal Planning Commission's denial of a request to modify approved Conditional Use Permit 2013-02 to allow a café, additional classes, and outdoor training at 1950 Fifth Street.

**SUMMARY:** Conditional Use Permit (CUP) 2013-02 was approved by the Planning Commission with conditions that require a modification to the CUP for any changes in the number of classes, class sizes, use of outdoor space, and the addition of a café that had been identified but not included in the original approval. Modification No. 1, is a request to add the café, additional classes and use of the existing truck bay for outdoor training (ref. Exhibit "A" – Location Map and Exhibit "B" – Assessor's Parcel Map). On June 11, 2014 the Planning Commission denied Modification 1 to CUP 2013-02 on a 3-2 vote. The City Council appealed in order to hear the item.

**BACKGROUND:** CUP 2013-02 was approved by the Planning Commission on May 21, 2013 to allow the subject gym at 1950 Fifth Street. The property is developed with an industrial type building, associated landscaping and 27 on-site parking spaces (ref. Exhibit "D" – Existing Site Plan and Exhibit "E" – Approved Floor Plan).

The gym was approved and conditioned with certain operating hours of Monday through Friday with classes at 5 a.m., 6 a.m., 7 a.m., 10 a.m., 12 p.m., 2:30 p.m., 4:30 p.m., 5:30 p.m., and 6:30 p.m.; and on Saturday at 9 a.m. The project was conditioned that the classes be 30-45 minutes long, with no overlapping between classes, with one class per session, and with a maximum of 20 customers in each class. The project was also conditioned so that an amendment to the CUP would have to be approved prior to any changes in the class scheduling or class size. This was done to help ensure that the existing on-site parking (27 spaces) was sufficient to accommodate the use throughout the day.

A café has been anticipated with the gym since the beginning, but the original approval did not include that portion of the business. Again, the project was conditioned such that an amendment to the CUP would have to be approved first before the café could open. And the project was conditioned prohibiting outdoor activities but with a provision for allowing them, but again only with approval of an amendment to the CUP.

**PROJECT DESCRIPTION:** The applicant is requesting to modify CUP 2013-02 for the changes described above: to add additional classes, a café, and outdoor training to the existing gym.

The first change would add more classes to take up every hour from 5:00 a.m. to 9:00 p.m. Monday through Sunday. The applicant is not proposing to use all of these time slots but wants to have flexibility in the future to meet customer demand without having to wait weeks seeking approval of a modification to the CUP each time a class is added. The approved schedule currently allows nine classes daily Monday through Friday and one class on Saturday. The proposed new schedule would allow up to 17 classes every day of the week.

The applicant is also proposing to add the café consisting of a small kitchen and dining area (ref Exhibit "C" – Proposed Café Area) that would offer a Paleo Menu with organic and natural foods; along with protein shakes, coffee and teas. The kitchen area will consist of about 476 square feet and the dining area will consist of about 604 square feet (1,080 total square feet). The café is proposed to be open to the public.

Lastly the applicant is requesting to use the outdoor loading dock/loading well as a warm up area for training.

**ENVIRONMENTAL REVIEW:** City staff has determined that the project is categorically exempt from environmental assessment and the provisions of the Norco Environmental Guidelines pursuant to Section 3.13, Class 1 – Existing Facilities.

**EVALUATION/DISCUSSION:** The subject property is located in the M-1 Zone in which a gymnasium is a conditionally permitted land use. Changes to the operation of an approved CUP require an application for modification that requires approval by the Planning Commission. In its determination the Planning Commission considers whether the proposed land use changes will adversely affect the adjoining land uses and the growth and development of the area. The project site complies with all development standards required in the M-1 Zone. For this modification, as with the original approval of the gym, it needed to be determined if the existing parking spaces (27 spaces) would be sufficient to accommodate the proposed modification to the CUP.

In the original approval the Planning Commission used the square feet of the designated "gym area" (9,604 square feet) of the floor plan to assess the parking requirement. The standard retail/office parking ratio of one parking space for every 250 square feet was applied. With 9,604 square feet of gym area, a total of 38 parking spaces were required but the site only had 27 spaces.

Per the Norco Municipal Code parking can be shared upon approval by the Planning Commission when it is found that different businesses using the same parking will have different peak times. For the gym it was determined that each class stood on its own since

the classes are hourly and there really is no open gym area that is typical in other gyms or fitness clubs.

The standard parking requirement for retail and office centers assumes use throughout the day with enough parking to accommodate coinciding peak times for all associated businesses. With a different class every hour and no open gym area each class would have a separate "peak time." To ensure continued availability of parking the Planning Commission limited the number of classes, the time period for each class, and the number of customers per class so that there would always be sufficient parking. The proposed change to add more classes does not change that situation so there should still be adequate parking throughout the day.

A cafe is not a permitted use in the M-1 Zone; however, as an ancillary use it can be allowed provided it is a function of the primary use (in this case the gym) and not a stand-alone operation. For this reason, the modification was conditioned such that the café is not advertised and identified as a separate business entity on outdoor signage so that it's function is primarily as a service to gym customers only. A parking assessment would not be needed since the café's customers would already be there for the gym.

The applicant also requested use of the outdoor loading dock/loading well as a warm up area for training. Staff recommended approval since the truck bay is a sunk-in area and cannot be used for anything else. The project is conditioned so that no other area in the parking lot can be used for outdoor training. As proposed and conditioned, staff believes the proposed changes to the use can be operated in a manner that is compatible with the surrounding uses and should not have any significant negative impacts since all of the surrounding property is zoned and developed for M-1 uses.

**PLANNING COMMISSION DISCUSSION:** After hearing presentations by staff and the applicant the Planning Commission voted 3-2 to deny Modification 1 to CUP 2013-02. A concern was that changes that would have needed an approved modification to the CUP first, had already been done which was a continuation of a pattern set with the original approval when construction had occurred without a building permit and the gym had opened without approval of the required CUP.

A primary issue was parking since advertisements for the business were now showing two classes an hour in some of the hours as opposed to just one as required by the approved condition. The applicant explained that this is not two classes but simply two levels of training in the same class to cater to the needs of customers at different fitness levels. The condition limiting class size to 20 was still being adhered to. Another issue alleged was that gym clothing is being sold at the business which is a use not included in the approved Business License, and for which there is not a resale license so that Norco receives the sales tax that it should.

If the City Council chooses to uphold the decision of the Planning Commission then a roll call vote is all that is needed. If the City Council chooses to overturn the action of the Planning Commission thereby approving Modification 1 to CUP 2013-02 then a Resolution needs to be adopted to establish the conditions of approval. A resolution is attached for that scenario so that it can be modified as the City Council determines necessary should that be its direction.

Attachments:     Resolution No. 2014-50  
                      Exhibit "A" – Location Map  
                      Exhibit "B" – Assessor's Parcel Map  
                      Exhibit "C" – Proposed Café Area  
                      Exhibit "D" – Existing Site Plan,  
                      Exhibit "E" – Approved Floor Plan

## **RESOLUTION NO. 2014-50**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO GRANTING WITH CONDITIONS A MODIFICATION TO AN APPROVED CONDITIONAL USE PERMIT THAT ALLOWED AN INDOOR GYMNASIUM AT 1950 FIFTH STREET WITHIN THE M-1 (HEAVY COMMERCIAL/LIGHT MANUFACTURING) ZONE, TO ALLOW A CAFÉ, ADDITIONAL CLASSES, AND AN OUTDOOR TRAINING AREA. CONDITIONAL USE PERMIT 2013-02, MODIFICATION NO. 1**

WHEREAS, PANDEMIC FITNESS submitted an application to the City of Norco, California for a modification to Conditional Use Permit 2013-02, under the provisions of Chapter 18.45, Title 18 of the Norco Municipal Code to allow to allow a café, additional classes, and an outdoor training area for the existing gym on property generally described as:

.76 Acres M/L in Por Par 6 and Par 3 PM;

More generally described as an irregular-shaped area of about 0.76 acres, having a maximum frontage of about 183 feet on the south side of Fifth Street, having a maximum depth of approximately 194 feet, and being further described as 1950 Fifth Street (APN 129-220-051); and

WHEREAS, at the time set, at 7 p.m. on June 11, 2014 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid conditional use permit modification and received both oral and written testimony pertaining to said application; and

WHEREAS, said Planning Commission denied Conditional Use Permit 2013-02, Modification No.1; and

WHEREAS, said denial was appealed to the City Council and was scheduled for a public hearing before the City Council on July 16, 2014; and

WHEREAS, at the time set; at 7 p.m. on July 16, 2014 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said appeal was heard by the City Council for the City of Norco; and

WHEREAS, at said time and place set, said City Council considered the aforesaid application and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment; and

NOW, THEREFORE, the City Council of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The requested Conditional Use Permit will not adversely affect the General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof, by reason that the Norco General Plan designates the site as I (Industrial) and the existing M-1 (Heavy Commercial /Light Manufacturing) zoning designation is consistent with the General Plan. A gymnasium and related uses are conditionally permitted in this zone and subject to conditions. The use can be operated in a manner so as to be consistent with surrounding uses and will therefore not have any significant effects.

B. The requested use will not adversely affect the adjoining land uses, and the growth and development of the area in which it is located by reason that the adjoining properties are in an M-1 zone. The subject gym modifications, when operated in compliance with the conditions of approval, will be complementary and compatible with surrounding properties and therefore will not have an adverse effect on adjoining properties.

C. The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area as the proposed use meets all applicable development standards and adequate parking is available for all classes that occur at different hours of the day.

D. The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area, based on compliance with conditions of approval, and since the street in front of the project site and in the area, is fully improved and designed to accommodate conditions of the existing zoning.

E. The City has determined that the project is categorically exempt from environmental assessment and the provisions of the Norco Environmental Guidelines pursuant to Section 3.13, Class 1.

DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Norco, California, in session assembled July 16, 2014 that Conditional Use Permit 2013-02, Modification No.1 is approved, subject to the conditions provided in Section 18.45.14 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Proposed Café Area dated May 1, 2014, except as amended by conditions, and incorporated herein by reference and on file with the Planning Division. The use shall occur as shown unless otherwise noted in these conditions.
2. The applicant and recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of this conditional use permit.
4. In the event conditions for approval by the Planning Commission, or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. The applicant shall obtain building permits for tenant improvements to accommodate the café. Tenant improvements to the interior of the existing building shall comply with building and safety requirements and will not be allowed to require more parking than has been approved for the use.
6. Riverside County Health Department approval is required for the café.
7. Plumbing plans showing water and sewer connections shall be submitted with tenant improvement plans. A grease interceptor shall be installed as required by the Building and Engineering Divisions.
8. The café shall be limited to 1,080 total square feet (kitchen area of about 476 square feet and the dining about 604 square feet).
9. The café shall not be identified or advertised as a separate business on outdoor signage.
10. This is not an approval to begin work for the café or to open up the cafe. No work shall commence until the City of Norco has issued building permits and all other appropriate permits (i.e., business license, certificate of occupancy, etc.).

11. No occupancy of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate.

Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements thereof.

12. No signs are authorized by approval of this conditional use permit. Any signs proposed for this project shall be submitted to the Planning Division for review and approval. Once signs are approved, building permits shall be obtained from the Building Division for issuance of a building permit.

13. It is hereby established that it shall be grounds for revocation of this conditional use permit if the permittee, his agent or assigns, or employee(s) of his establishment, or any other person connected or associated with the permittee or his business establishment, or any person who is exercising managerial authority of the business establishment has:

- a. Violated any rule, regulation or condition of approval adopted by the Planning Commission relating to the conditional use permit; or
- b. Conducted the operation permitted hereunder in a manner contrary to the peace, health, safety and general welfare of the public or in a manner which either generates or contributes to noise and/or health/sanitation nuisances, or which results in undesirable activities or creating an increased demand for public services.

14. The applicant shall comply with all requirements from Building and Safety, Planning and all other applicable divisions, departments and agencies.

15. For each class, a maximum of 20 students shall be allowed. Only one class can be in session during each designated time period.

16. The operation schedule for the gym under this modification is: Monday through Sunday, with only one class offered every hour from 5:00 a.m. to 9:00 p.m. Classes shall be 30-45 minutes long, with no overlapping between classes.

17. Changes in the class scheduling or class size are not allowed unless reviewed and approved by the Planning Commission through an amendment to the conditional use permit under separate application and fees.

18. Said approval shall become null and void unless building permits for all construction/interior modifications authorized by this approval have been issued within two years after the granting of such approval and pursued diligently to completion. Provided, however, that the Planning Director may extend approvals for up to six months, and provided that after consulting with the City Engineer and Fire Chief, he finds that there would be no new requirements due to changes in the Code and the plan as approved meets all present development standards.

19. The owner/operator of the business, regardless of any changes in ownership, shall provide a self-audit of compliance with the conditions of approval to the Planning Commission on a form or in a manner determined by the Planning Division, and inclusive of the payment of any fees as may be set by the City Council. Said report shall demonstrate that the project is in compliance with all the conditions of approval and shall be submitted for review no later than six months from the issuance of a business license and/or Certificate of Occupancy, and then every year thereafter by December 31. The owner/operator shall be responsible for all staff and attorney fees that may be incurred in the enforcement of the terms of the conditions of approval, whether they are annual inspections or compliance hearings.

20. Use of the outdoor loading dock/loading well shall be allowed for outdoor training. No other area in the parking lot shall be used for outdoor training.

CC Resolution 2014-50  
Page 6  
July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

\_\_\_\_\_  
Mayor of the City of Norco, California

ATTEST:

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

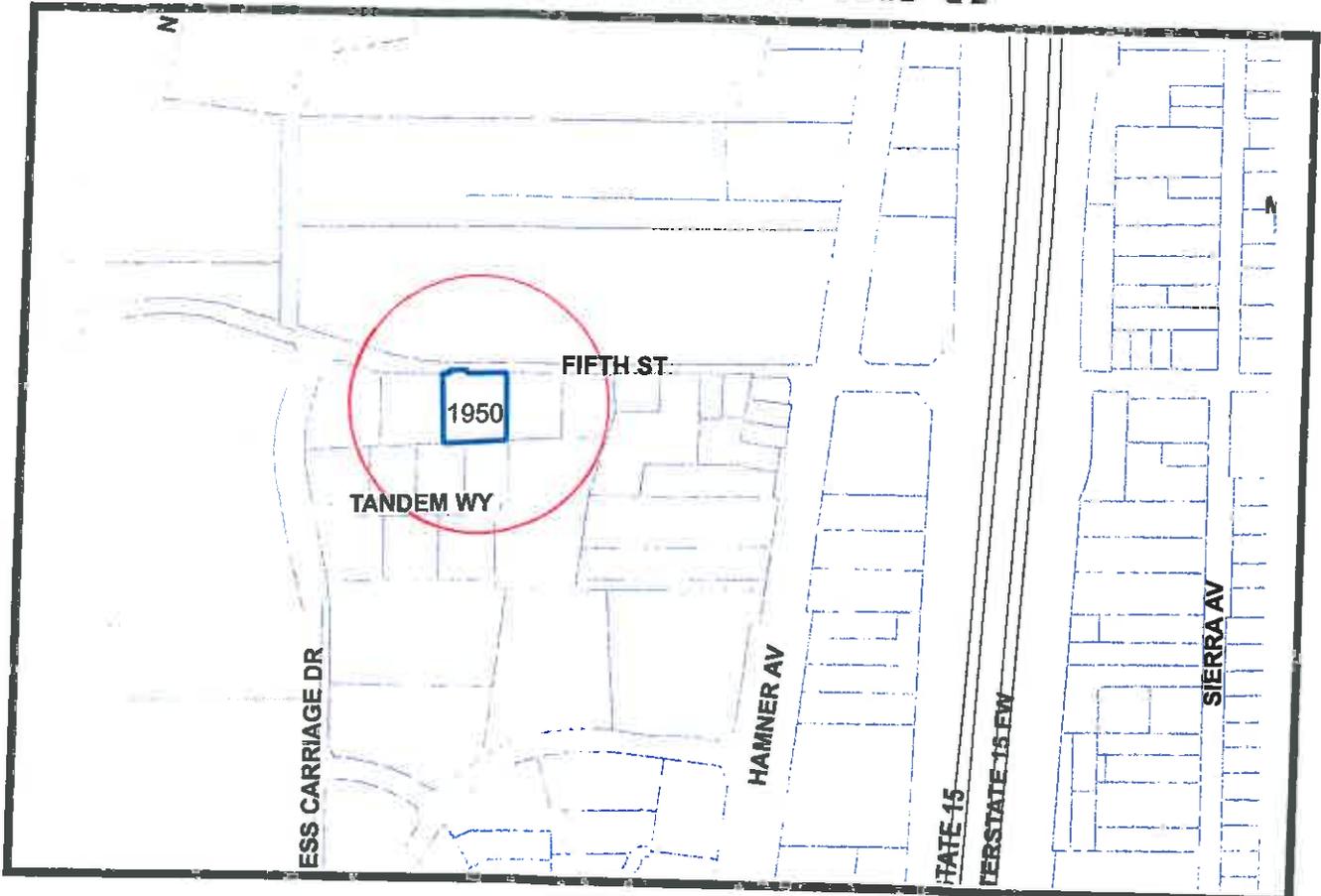
I, CHERYL L. LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014 by the following vote of the City Council:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on July 16, 2014.

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

# LOCATION MAP



Not to Scale



**PROJECT:** Conditional Use Permit 2013-02  
**APPLICANT:** Crossfit Pandemic, Inc.  
**LOCATION:** 1950 Fifth Street

# ASSESSOR'S PARCEL MAP

MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAPS COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

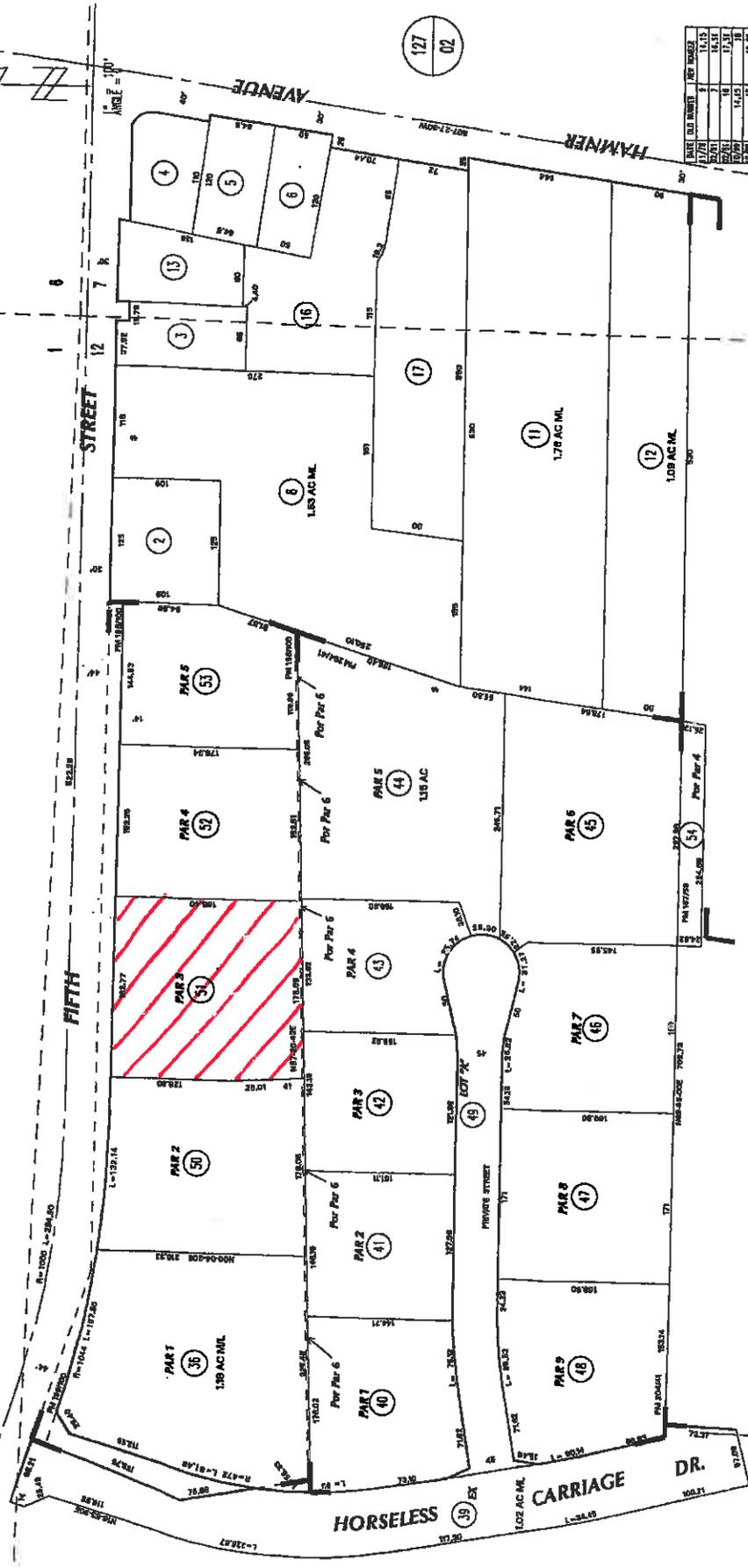
2005

POR. SEC. 12 T. 3S., R. 7W  
 POR. SEC. 7 T. 3S., R. 6W  
 CITY OF NORCO

T.R.A. 015-007

129-22  
 5-20-1

130  
 24



UNIT: PM 52/14

PARCEL	ACREAGE	PER. MARKET
1	1.15	11.15
2	1.15	11.15
3	1.15	11.15
4	1.15	11.15
5	1.15	11.15
6	1.15	11.15
7	1.15	11.15
8	1.15	11.15
9	1.15	11.15
10	1.15	11.15
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43	1.15	11.15
44	1.15	11.15
45	1.15	11.15
46	1.15	11.15
47	1.15	11.15
48	1.15	11.15
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50	1.15	11.15
51	1.15	11.15

Exhibit "B"

PROPOSED FLOOR  
PLAN FOR CAFE

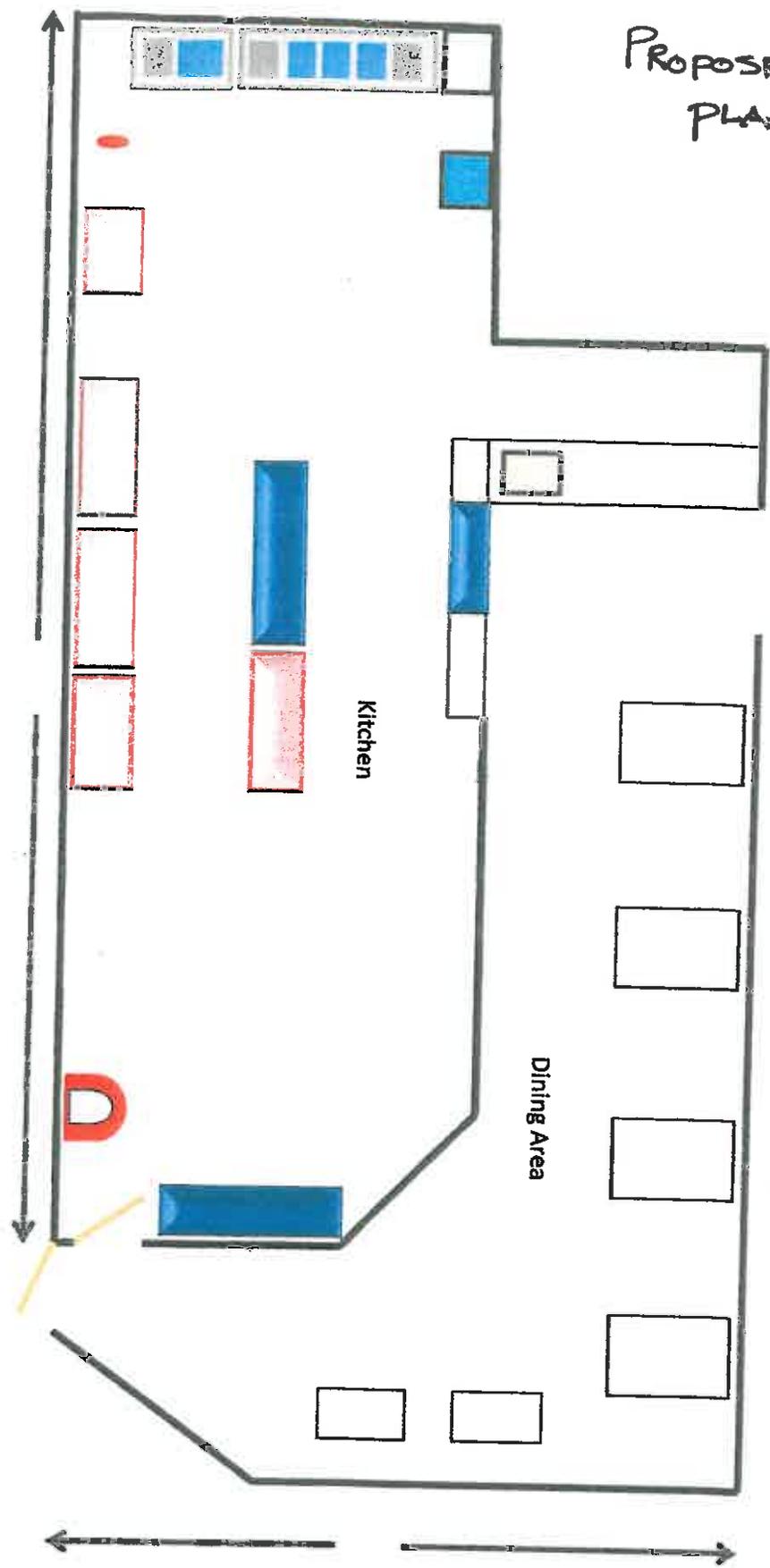
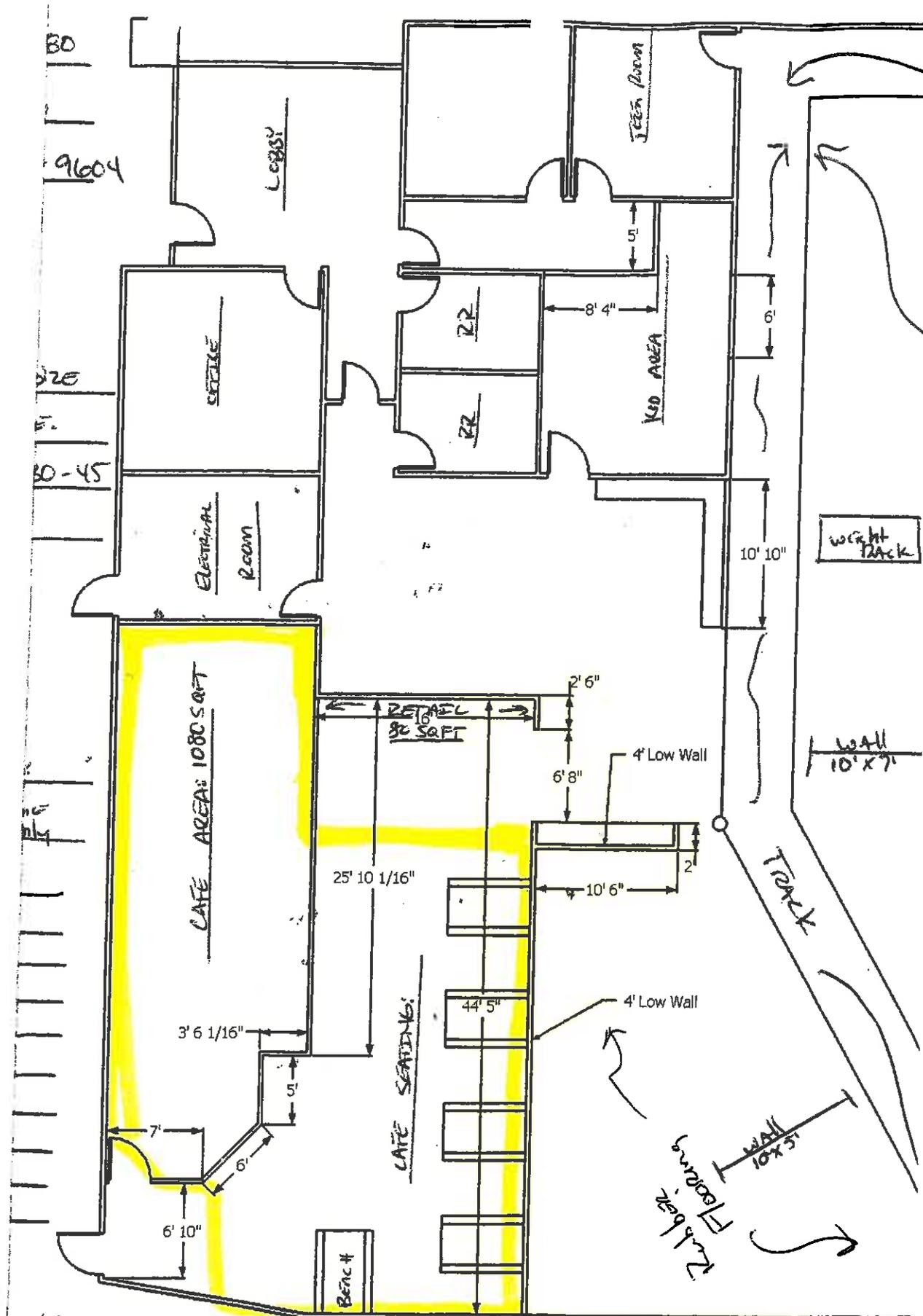


EXHIBIT "C"

5-1-14  
1 OF 2.

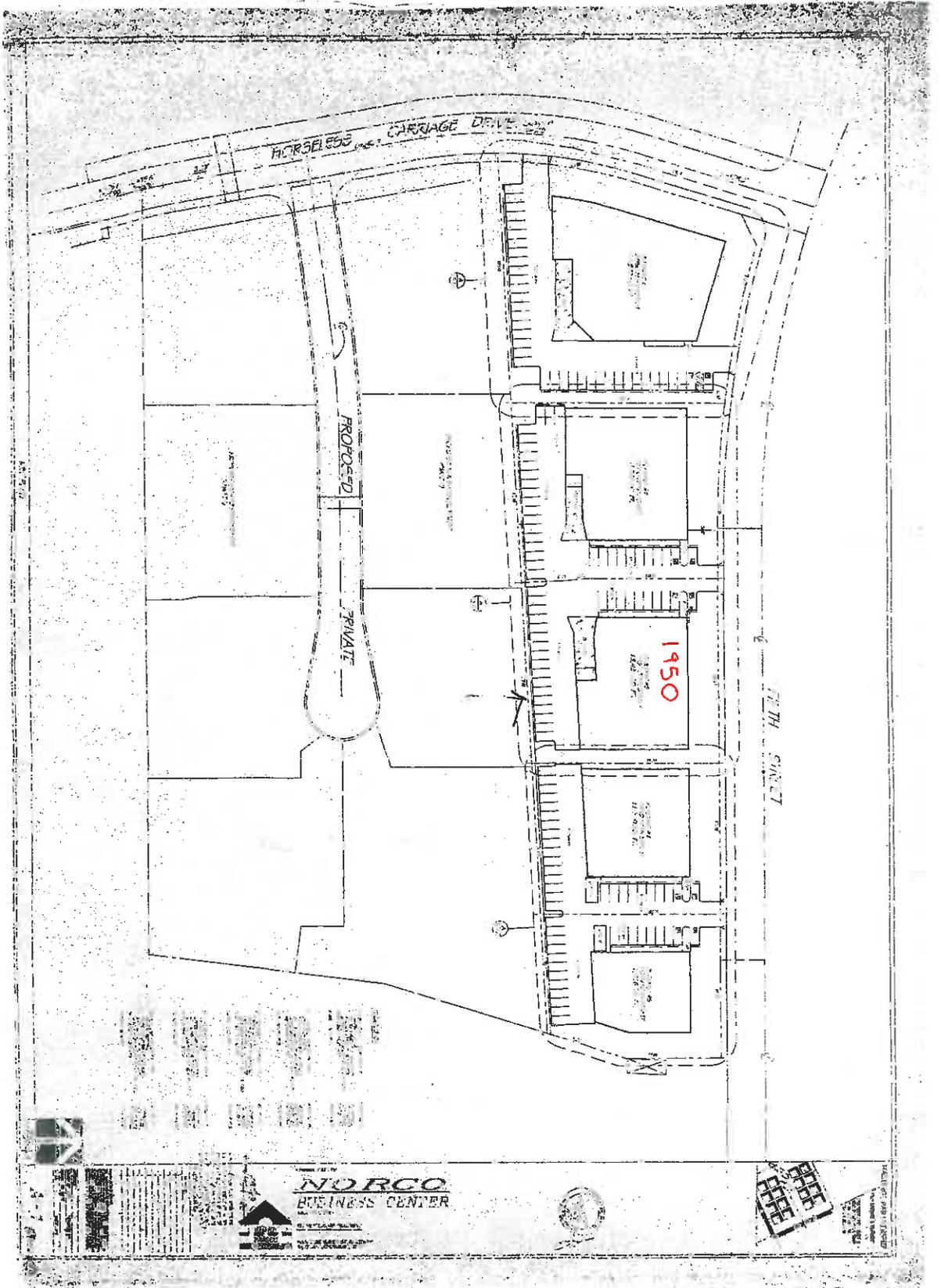


Parking  
 parking  
 5th St.  
 Building in

parking spaces  
in lot of 1950  
5th St. = Total 54 parking spaces.

EXHIBIT "C"

2 of 2  
 2.5.14



**NORCO**  
BUSINESS CENTER

EXHIBIT **D**

4-24-13



## CITY OF NORCO STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brian K. Petree, Acting City Manager

PREPARED BY: Steve King, Planning Director

DATE: July 16, 2014

SUBJECT: **Appeal Hearing: Site Plan 2014-11** (Eaton): Appeal of the Planning Commission's denial of a request to allow a detached accessory building consisting of a 704 square-foot patio and storage building at 3413 Dales Drive located within the A-1-20 (Agricultural Low-Density) Zone.

**SUMMARY:** At its meeting on June 11, 2014 the Planning Commission denied Site Plan 2014-11 and the applicant has appealed that decision to the City Council. The City Council can either uphold the Planning Commission action or overturn that action and approve the project with conditions of approval as deemed necessary.

**BACKGROUND/ANALYSIS:** The subject property is located within the A-1-20 zone and consists of .52 acres/22,651 square-feet and is developed with a single family residence (ref. Exhibit "A" – Location Map, ref. Exhibit "B" – APN Map and Exhibit "F" – Aerial and Site Photos). The subject property is approximately 22,651 square feet but is not all flat. The first two-thirds of property is relatively flat, but then there is a slope at the rear of the property.

Accessory buildings 864 square-feet or less require site plan approval by the Planning Commission. Because this accessory building was denied by the Planning Commissions, it is now being reviewed by the City Council on an appeal.

The site plan, building elevations and floor plan for the proposed building are attached (ref. Exhibit "C" – Site Plan, Exhibit "D" – Building Elevations and Exhibit "E" – Floor Plan). The building is proposed to be wood frame construction, with a tile roof and stucco finish to match the house, and will be located behind the existing residence in the sloped area of the property noted on the attached site plan.

Construction of the building has started, but was halted due to a "stop work order" issued to the property owner. This site plan application review and approval is the first step necessary before the owner can apply for building permits.

The following is required of accessory buildings in the A-1-20 Zone:

- The minimum setbacks of 5 feet from side or rear property lines and 10 feet from any other structure are required for accessory buildings. **The proposed building will meet these requirements.**
- The maximum height of any accessory structure 864 square feet or smaller is 14 feet, or as approved by the Planning Commission or in this case, by the City Council. **The structure meets this requirement with a proposed maximum height of 11 feet 6 inches to the peak of the roof.**
- The maximum lot coverage of all structures shall be not more than 40% of the total pad area. The pad area is defined as the “flat” part of the lot (4% grade or less). **As stated previously the first two-thirds of property is relatively flat, with a slope at the rear of the property. The flat pad area of the property consists of at least 12,000 square feet. The pad coverage is at about 31% which takes into account the existing structures but not the proposed accessory structure. The proposed structure will be located in the sloped area and therefore does not cover any of the flat pad area.**
- A contiguous open animal area must be shown on the site plan which must be rectangular in shape with a minimum of 24 feet on any side. The total open area must be equal to the allowed number of animal units multiplied by 576 square feet. **Based on the size of the property, a total of five animal units would be allowed which would require an open area of at least 2,880 square feet. An open area of at least 2,880 square feet has been identified (highlighted area in yellow) on the site plan. This area is within the flat area of the property, on the side and rear of the existing house. The subject structure is being proposed within a slope, and not taking up the flat and open area on the property.**

As proposed, the project meets the minimum requirements for an accessory building of 864 square feet or less. The Planning Commission voted 2-2 (Leonard abstained) on a motion to approve, but the project was denied because of the tie vote. The primary issue for the “no” votes was that the area identified on the site plan as the open animal area is covered in concrete and therefore not conducive to animal-keeping.

If the City Council chooses to uphold the decision of the Planning Commission then a roll call vote is all that is needed. If the City Council chooses to overturn the action of the Planning Commission thereby approving Site Plan 2014-11, then a Resolution needs to be adopted to establish the conditions of approval. A resolution is attached for that scenario so that it can be modified as the City Council determines necessary.



## **RESOLUTION NO. 2014-51**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NORCO GRANTING WITH CONDITIONS SITE PLAN APPROVAL TO ALLOW A DETACHED ACCESSORY BUILDING CONSISTING OF A 704 SQUARE-FOOT PATIO AND STORAGE BUILDING AT 3413 DALES DRIVE LOCATED WITHIN THE A-1-20 (AGRICULTURAL LOW-DENSITY) ZONE. SITE PLAN 2014-11**

WHEREAS, JEFF EATON submitted an application for site plan review to the City of Norco, California, under the provisions of Chapter 18.40, Title 18 of the Norco Municipal Code on property located at 3413 Dales Drive (APN 129-345-028)

WHEREAS, at the time set, at 7 p.m. on June 11, 2014 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said petition was heard by the Planning Commission for the City of Norco; and

WHEREAS, at said time and place set, said Planning Commission considered the aforesaid site plan and received both oral and written testimony pertaining to said application; and

WHEREAS, said Planning Commission denied Site Plan 2014-11; and

WHEREAS, said denial was appealed to the City Council and was scheduled for a hearing before the City Council on July 16, 2014; and

WHEREAS, at the time set; at 7 p.m. on July 16, 2014 within the Council Chambers at 2820 Clark Avenue, Norco, California, 92860, said appeal was heard by the City Council for the City of Norco; and

WHEREAS, at said time and place set, said City Council considered the aforesaid application and received both oral and written testimony pertaining to said application; and

WHEREAS, the City of Norco, acting as the Lead Agency, has determined that the proposed project is categorically exempt from environmental assessment; and

NOW, THEREFORE, the City Council of the City of Norco does hereby make the following FINDINGS AND DETERMINATION:

I. FINDINGS:

A. The proposal does comply with all applicable requirements of the Norco Municipal Zoning Ordinance and the General Plan.

B. The overall site and architectural design is consistent with the intent and purpose of the Norco General Plan and Norco Municipal Zoning Ordinance.

C. The proposal is reasonably compatible with the area immediately surrounding the site.

D. The proposal is not detrimental and will be desirable to the overall public convenience or general welfare of the persons residing or working in the neighborhood.

E. The City of Norco, acting as lead agency, has determined that the project is categorically exempt from environmental assessment per Section 3.13, Class 3 of the City of Norco Environmental Guidelines.

DETERMINATION:

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Norco, California, in session assembled July 16, 2014 that Site Plan 2014-11 is approved, subject to the conditions provided in Section 18.40.10 of the Municipal Code of Norco, and including, but not limited to the following conditions:

1. Approval is based on Exhibit "C" – Site Plan, Exhibit "D" – Building Elevations and Exhibit "E" – Floor Plan dated May 28, 2014 and incorporated herein by reference and on file with the Planning Division. Development shall occur as shown unless otherwise noted in these conditions.
2. The recorded owner of the property shall submit to the Planning Division for record purposes, written evidence of agreement with all conditions of this approval before said permit shall become effective.
3. The project shall be in compliance with all City of Norco Municipal Codes, Ordinances and Resolutions. Non-compliance with any provisions of the Norco Municipal Code (NMC) not specifically waived in compliance with City procedures shall constitute cause for revocation and/or termination of the approvals granted under authority of permit.
4. In the event conditions for approval by the Planning Commission or City Council (as the case may be) require the revision of plans as submitted, the applicant shall submit four copies of the approved plan (revised to incorporate conditions for approval) to the Planning Division for record purposes for approval of any grading and/or building permits.
5. No occupancy and/or use of any building and/or structure shall be permitted which is not in compliance with approved plans and excepting upon specific review and approval of any "as built" modifications by the Planning Director as appropriate. Provided further, that no expansion of use beyond the scope and nature described in this application which would tend to increase the projected scale of operations shall be permitted except upon application for, and approval

of, modification of this application in compliance with all procedures and requirements thereof.

6. This is not an approval to begin and/or continue work/construction. No work/construction shall commence or continued until the applicant has obtained building permits and has paid all applicable fees for the subject building.
7. The applicant shall comply with all requirements from the Planning, Engineering, and Building Divisions; and the Fire and Sheriff's Departments; and all other applicable departments and agencies.
8. A home occupation shall not be permitted from the subject building.
9. The subject building shall complement the existing house in material and color.
10. Building permits for this accessory building are issued within the confines of this permit/site plan approval. Any violation of a condition resulting in a revocation of this permit/site plan approval may result in an order to remove the accessory building at the owner's expense.

CC Resolution 2014-51  
Page 4  
July 16, 2014

PASSED AND ADOPTED by the City Council of the City of Norco at a regular meeting held on July 16, 2014.

\_\_\_\_\_  
Mayor of the City of Norco, California

ATTEST:

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

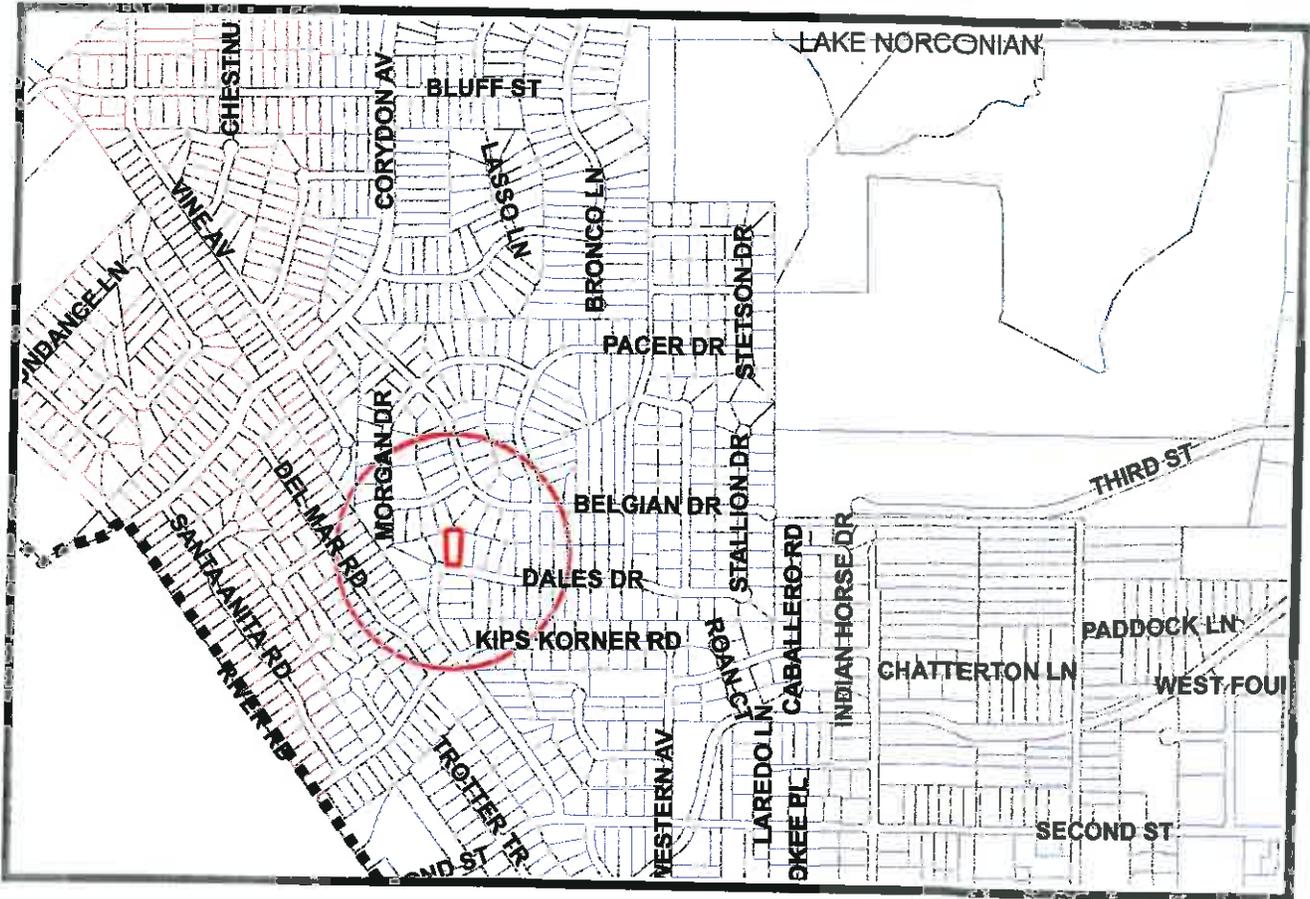
I, CHERYL L. LINK, City Clerk of the City of Norco, California, do hereby certify that the foregoing Resolution was adopted by the City Council of the City of Norco, California, at a regular meeting thereof held on July 16, 2014 by the following vote of the City Council:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Norco, California, on July 16, 2014.

\_\_\_\_\_  
Cheryl L. Link, City Clerk  
City of Norco, California

# LOCATION MAP



Not to Scale



**PROJECT:** Site Plan 2014-11  
**APPLICANT:** Jeff Eaton  
**LOCATION:** 3413 Dales Drive

## Exhibit "A"

# ASSESSOR'S PARCEL MAP

T.R.A. 015-007  
 129-15

15 POR. SEC. 11 & 14, T. 3 S., R. 7 W.  
 N.E.D. - 04-17-18 FOR. CITY OF NORCO

IS FOR  
 PURPOSES ONLY



M.B. 2191-6 Tract No. 22497  
 T.R.A. 015-007  
 T.R.A. 1502

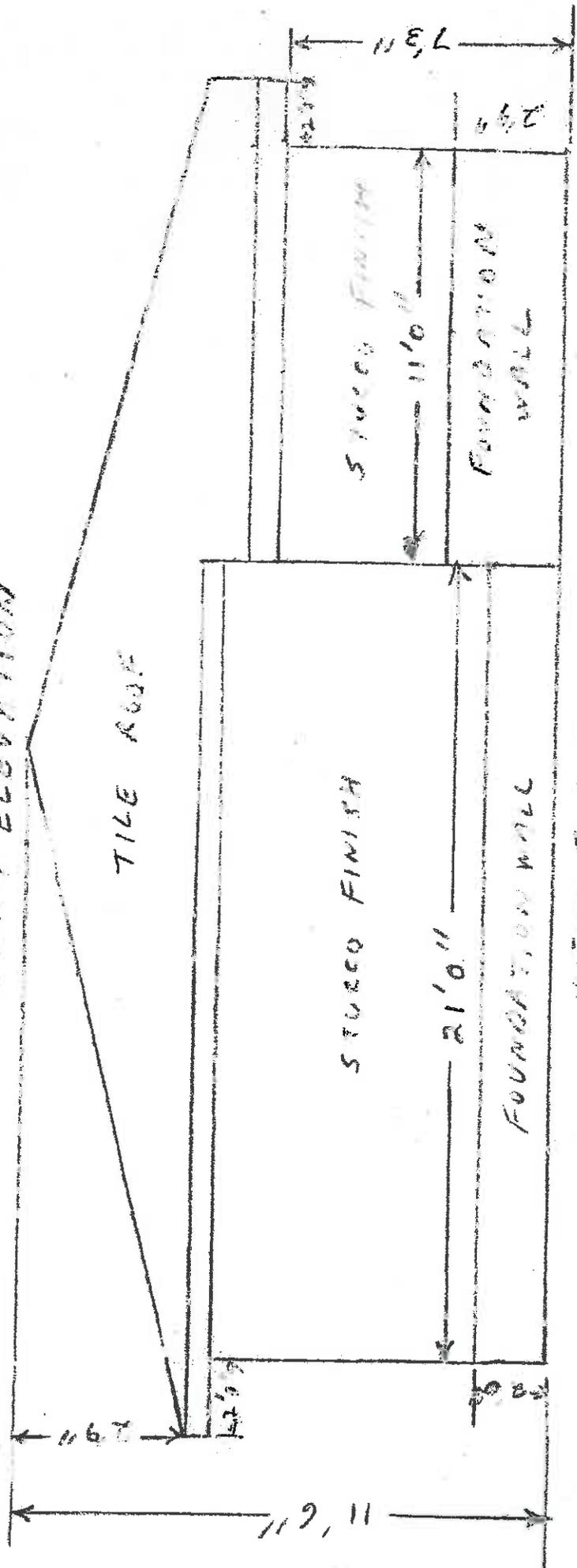
## Exhibit "B"



3413 DALES EATON 714-501-3024

Section 1/4" = 1'

### NORTH ELEVATION



### WEST ELEVATION

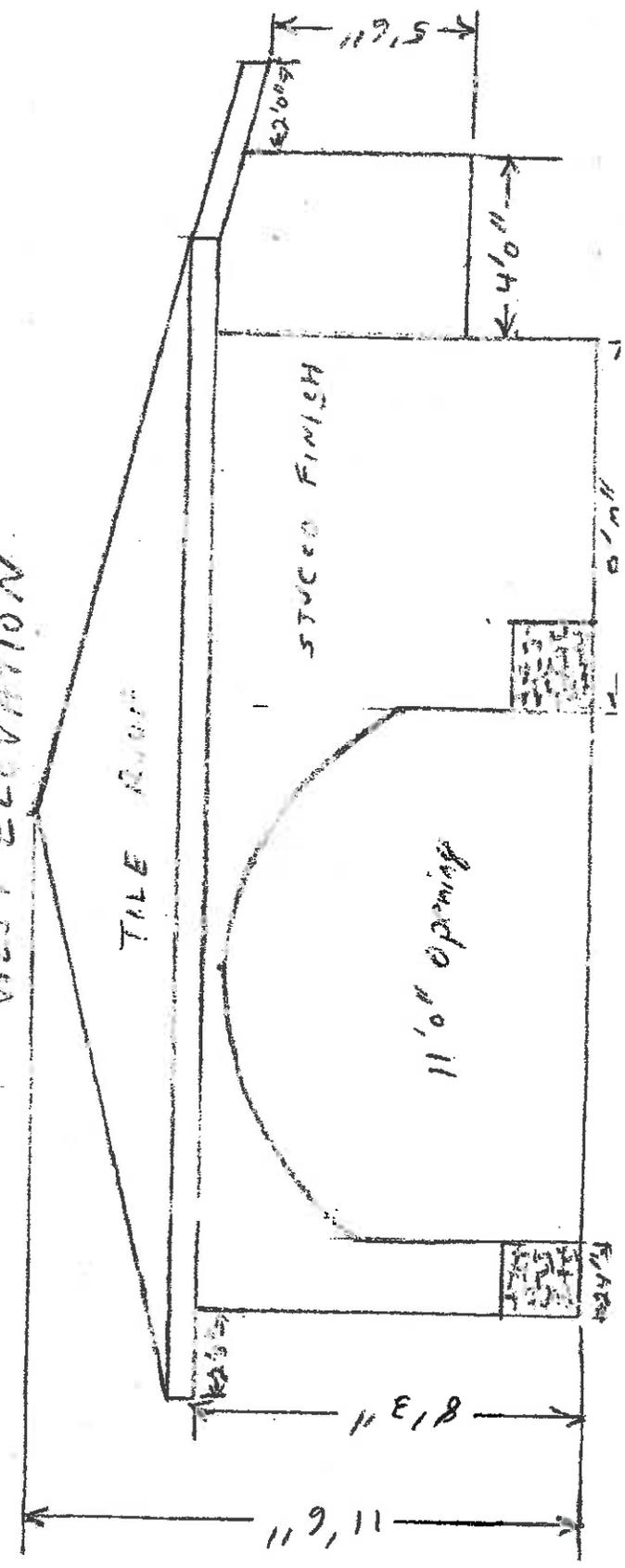


EXHIBIT 'D'

SUE DALLS EATON 714-501-3024 2 OF 4  
 SOUTH ELEVATION scale 1/4" = 1'

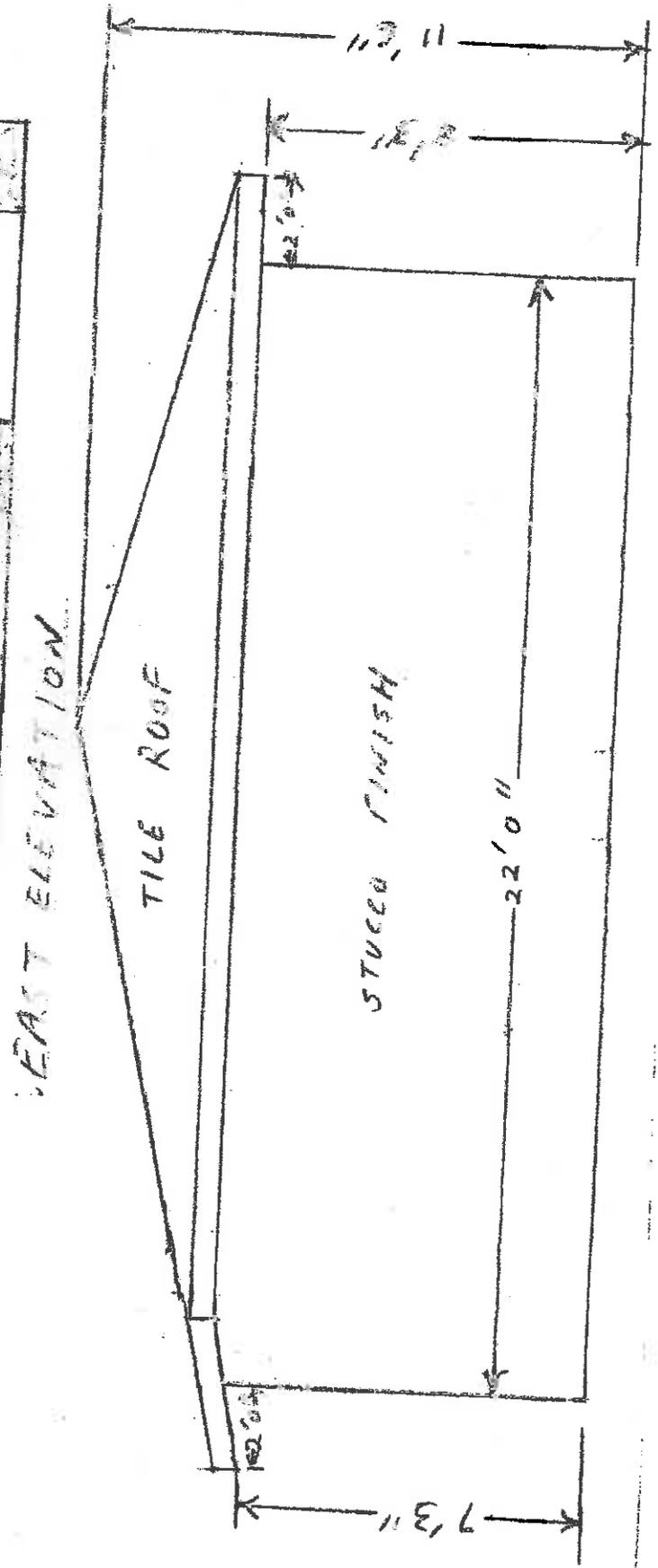
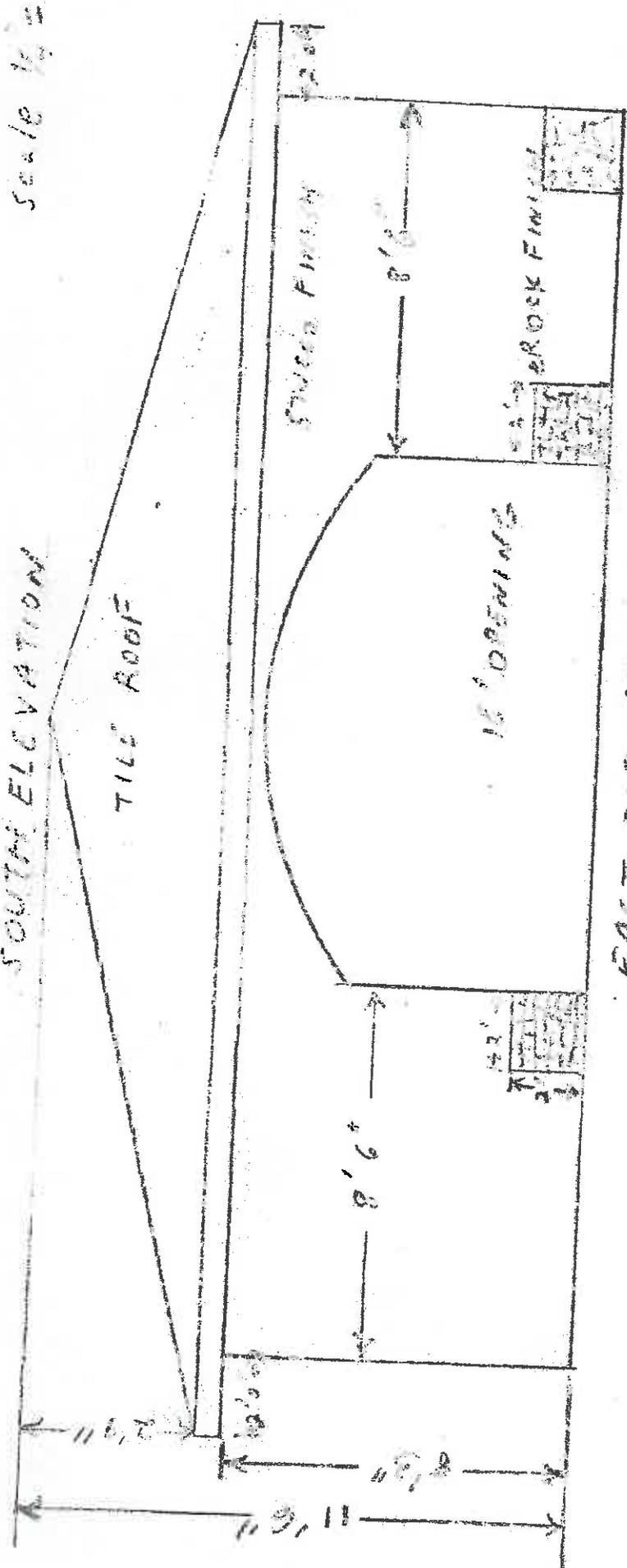
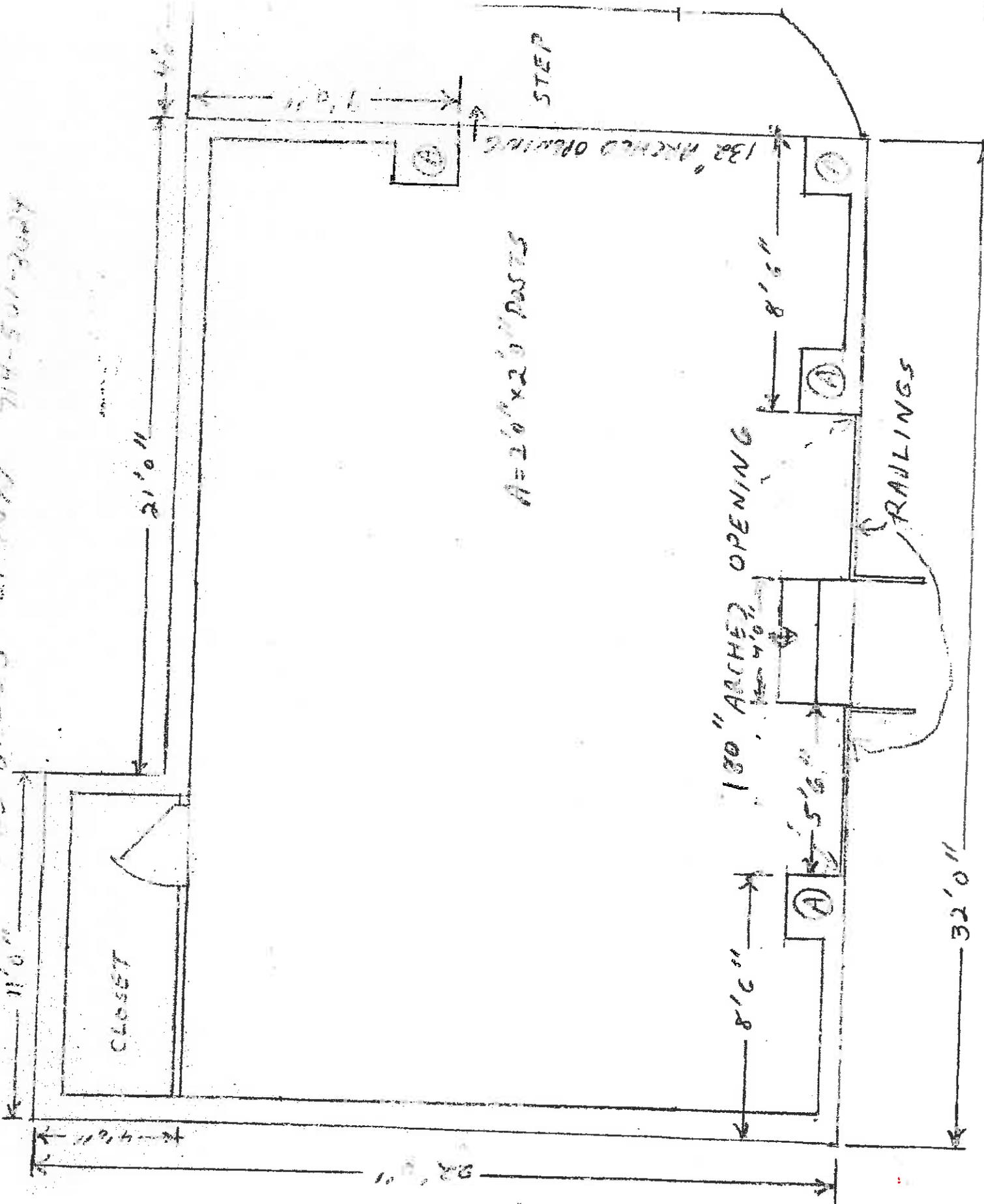


EXHIBIT "D"  
 2 OF 2 5.28.14

FLOOR PLAN 3413 DALES ESTATES 7/14-5/15/2014



Scale 1/4" = 1'



EXHIBIT 'E'

5.28.14



3413

EXHIBIT "F"  
N↑ 5/28/14 1 of 2

3413 Dales Drive



Side of property identified as the open area

